

Land & Housing Corporation, General Housing Development
25-29 Prospero Street, Maryland, NSW Lots 395-397, DP 702896
Part 5 Activity Submission 8th August 2023

Architectural Drawing Schedule

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Civil Drawing Schedule

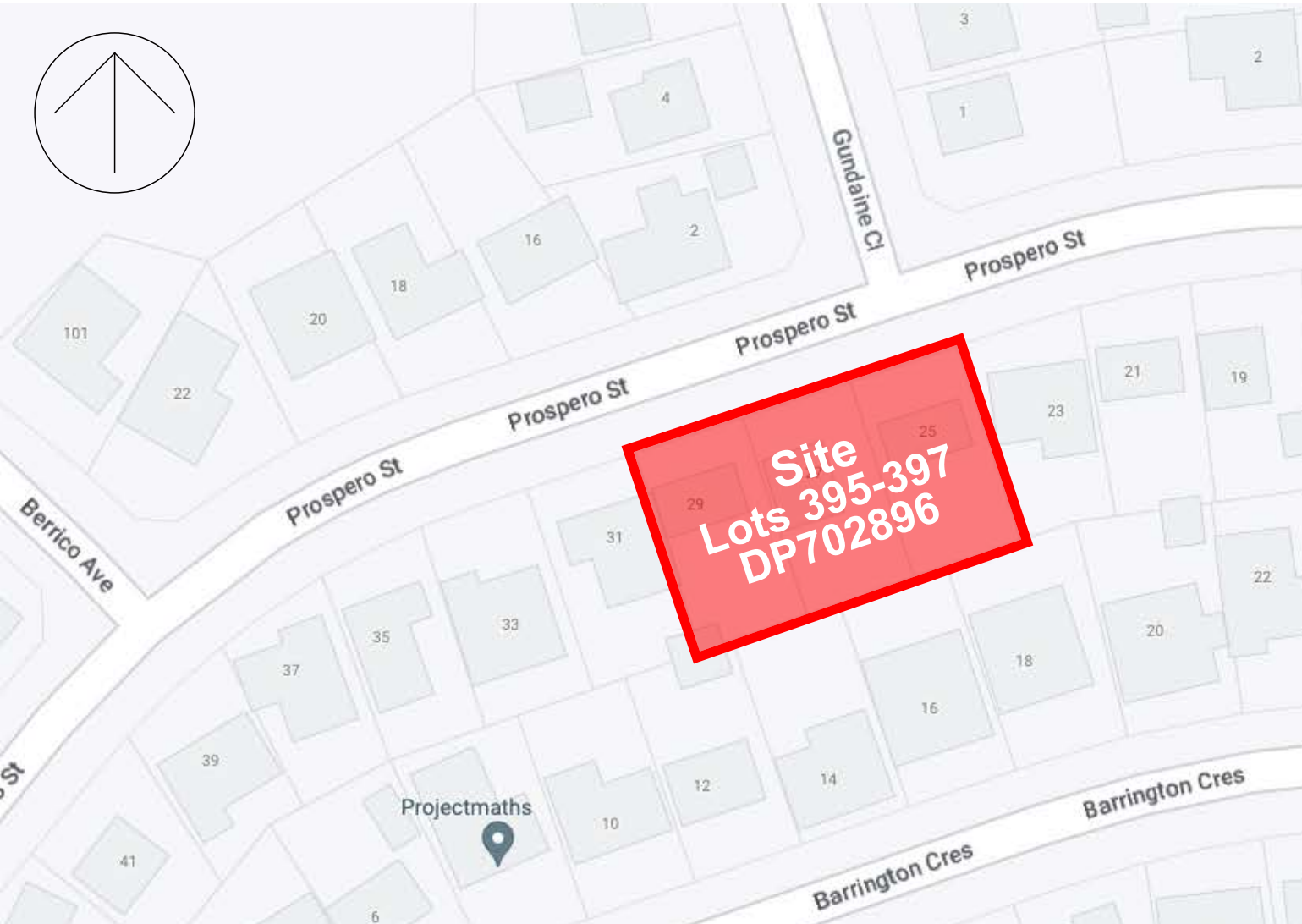
230135	C01	Notes & Legends
230135	C02	Ground Floor Drainage Plan
230135	C05	Site Stormwater Details Sheet 1
230135	ESM1	Notes & Legends
230135	ESM2	Environmental Site Management Plan

Landscape Drawing Schedule

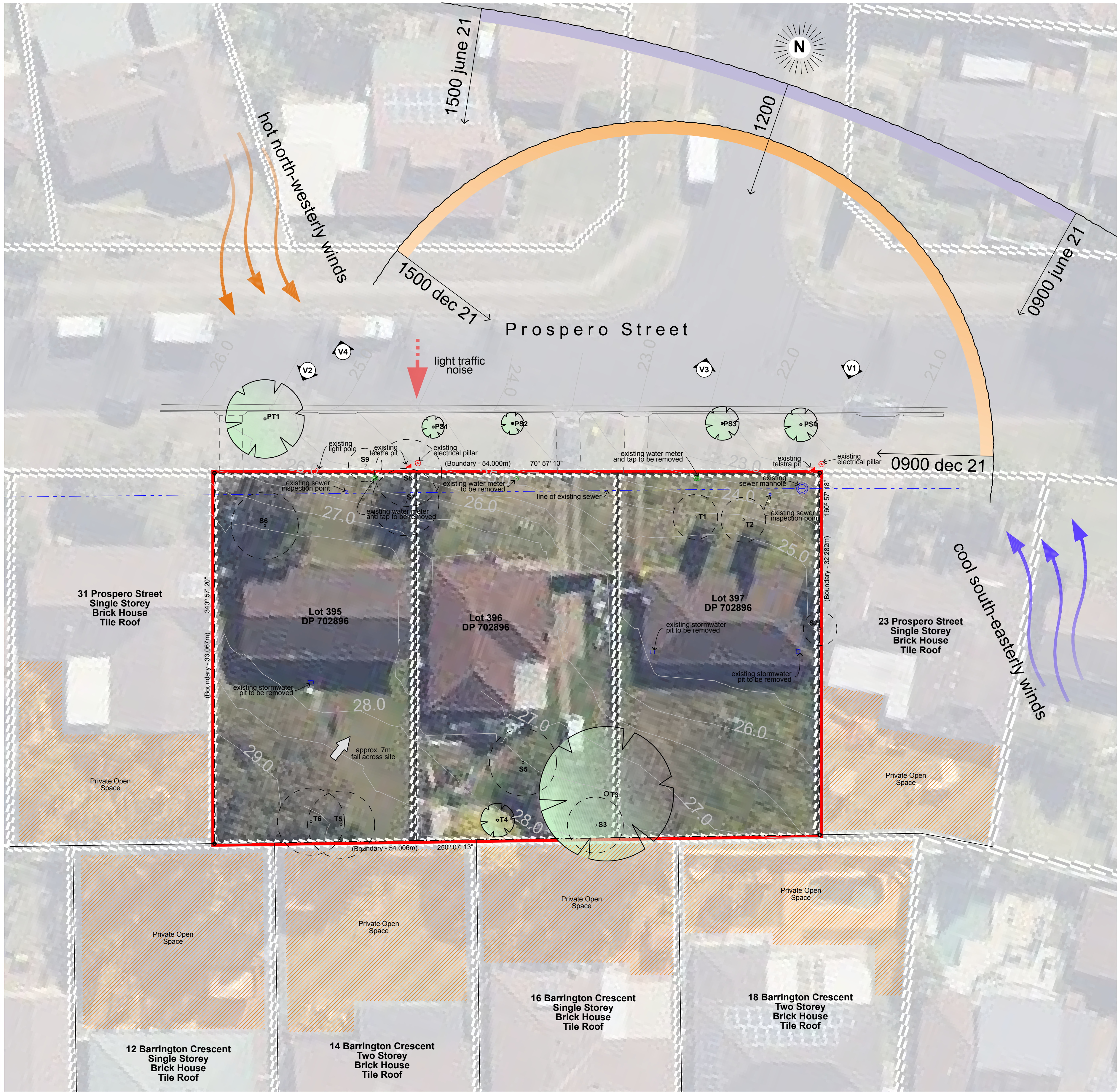
2869.23	L01	Landscape Plan & Details
2869.23	L02	Tree Protection Details
2869.23	L03	Landscape Specification & Maintenance Plan



Artist's Impression - View from Prospero Street



01 Location Plan
not to scale



V1 View towards 23 Prospero Street



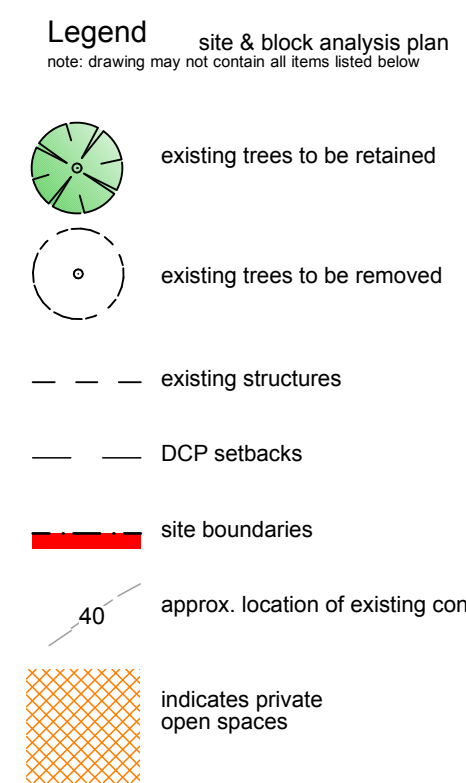
V2 View towards 31 Prospero Street



V3 View towards Gundaine Close



V4 View towards 16 Prospero Street & 2 Gundaine Close

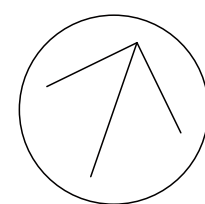


- Coles Fletcher (895m)
- Fire & Rescue NSW Wallsend Fire Station (706m)
- Maryland Public School (320m)
- Grange Avenue Reserve (452m)
- Bill Elliot Park (631m)
- Wallsend Airfield (1,538m)
- Sandgate Train Station (4,325m)

01 Site & Block Analysis Plan
1:200



Planning & Environment



04	08/08/23	Updated Part 5 Issue
03	10/05/23	Part 5 Issue
02	26/04/23	Part 5 Issue
01	14/04/23	Part 5 Issue
Rev	Date	Issue

do not scale drawings, check all dimensions on site, figured dimensions take precedence.

Project Architect:
Stanton Dahl Architects
Ph: (02) 8544 1050
Landscape Consultant:
Botanique Design
Mob: 0404 887 620

Stormwater Consultant:
Greenview Consulting
Ph: (02) 8544 1053

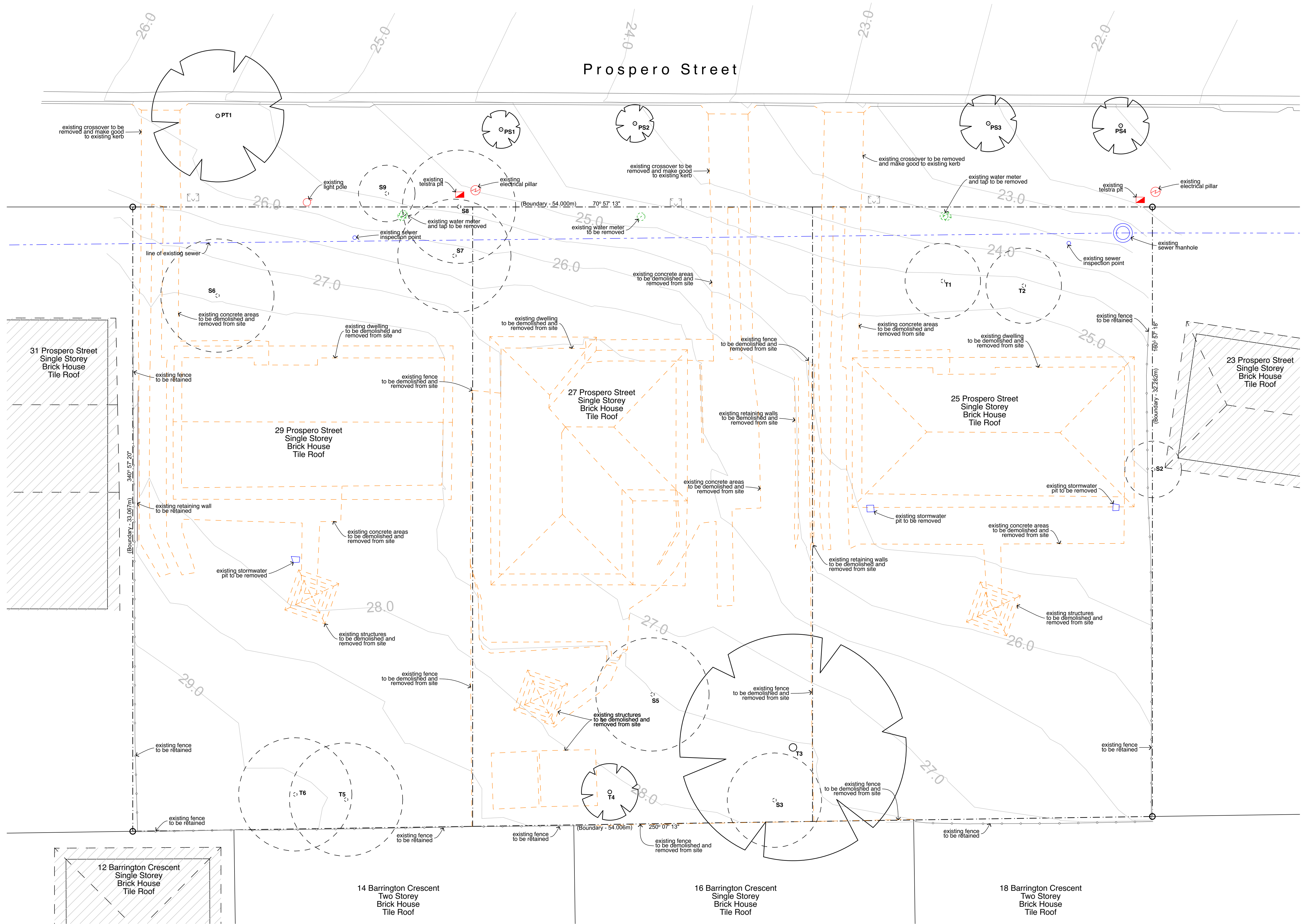
Architect:

Stanton Dahl Architects

Project:
General Housing Development
at
25-29 Prospero Street, Maryland

Title:
Site & Block Analysis Plan
File:
2869.23_25-29 Prospero St, Maryland_Part 5.pln
Plotted:
8/8/2023 2:09 pm

Status: Part 5 Activity Submission
Date: 8/8/2023
Scale: 1:200 @ A1
Stage: Part 5
Drawing: DA01
Sheet: 2 of 27
Project no: BGWY9
Approved: ML
Rev: 04

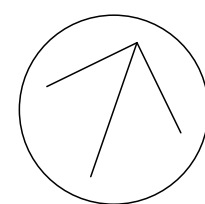


- Legend** demolition plan
note: drawing may not contain all items listed below
- existing trees to be retained
 - existing trees to be removed
 - not in scope of works
 - denotes existing items to be demolished or removed (walls, equipment etc.)
 - site boundaries
 - approx. location of existing contours

01 Demolition Plan
1:100



Planning & Environment



04	08/08/23	Updated Part 5 Issue
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Project Architect:
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Ph: (02) 8876 5200

Landscape Consultant:
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Mob: 0404 887 620

Stormwater Consultant:
Greenview Consulting
Ph: (02) 8544 1083

Architect:

Stanton Dahl Architects

Project:
General Housing Development

at
25-29 Prospero Street, Maryland

Title:
Demolition Plan

File:
2869.23_25-29 Prospero St,
Maryland_Part 5.pln

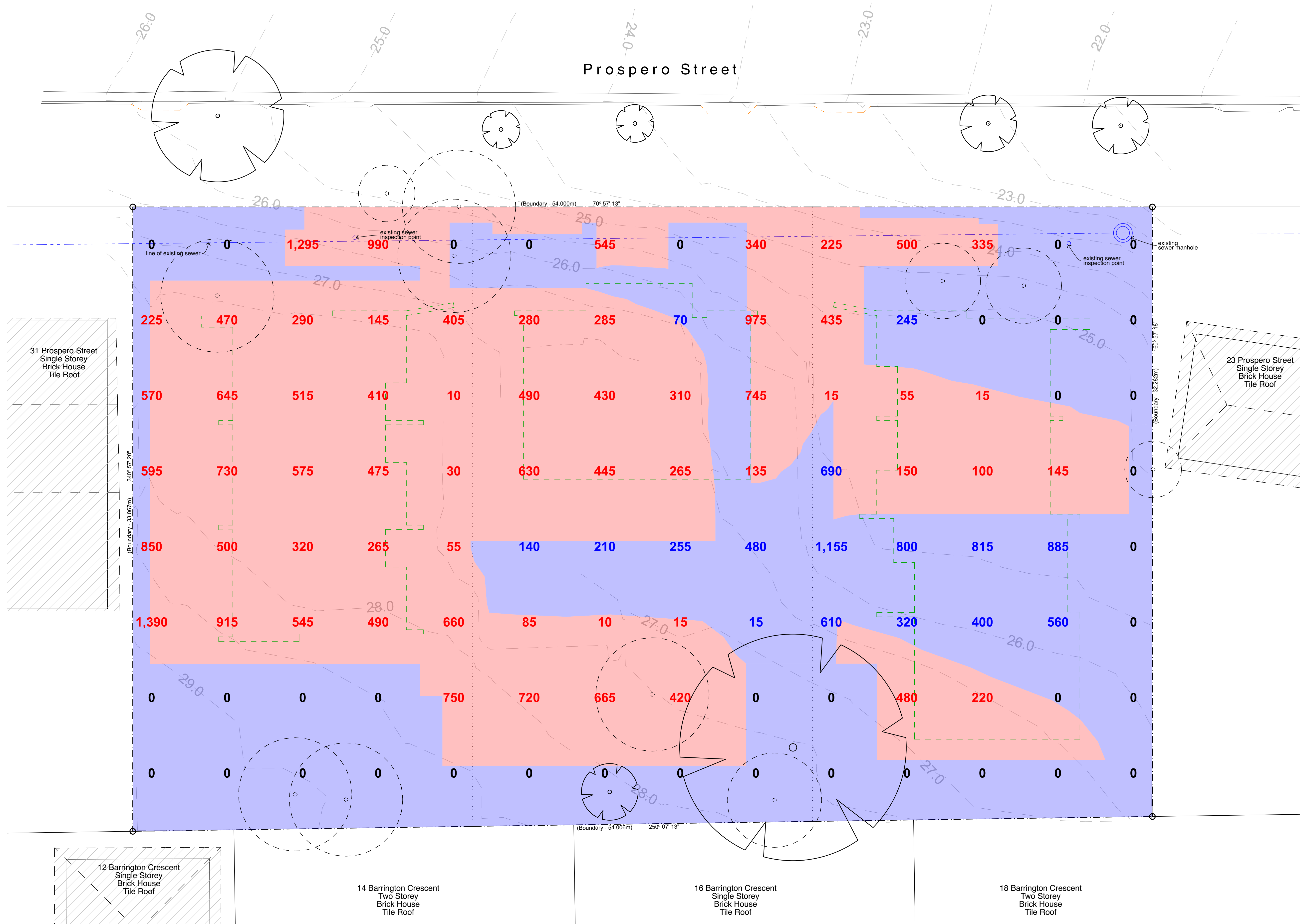
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2:09 pm

Status: **Part 5 Activity Submission**

Date: 8/8/2023
Stage: Part 5
Drawing: DA02

Scale: 1:100 @ A1
Drawn: MP/DD/AT
Sheet: 3

Project no: BGWY9
Approved: ML
Rev: 04
of 27

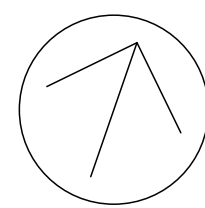


- Legend**
cut & fill plan
note: drawing may not contain all items listed below
- existing trees to be retained
 - existing trees to be removed
 - outline of new buildings
 - site boundaries
- note:**
blue area indicated extent of fill
- note:**
red area indicated extent of cut
- 150** approx. depth of fill in millimetres
150 approx. depth of cut in millimetres
40 approx. location of existing contours

01 Cut & Fill Plan
1:100



Planning & Environment



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Landscape Consultant:
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Stormwater Consultant:
Greenview Consulting
Ph: (02) 8544 1683

Architect:



Project:
General Housing Development
at
25-29 Prospero Street, Maryland

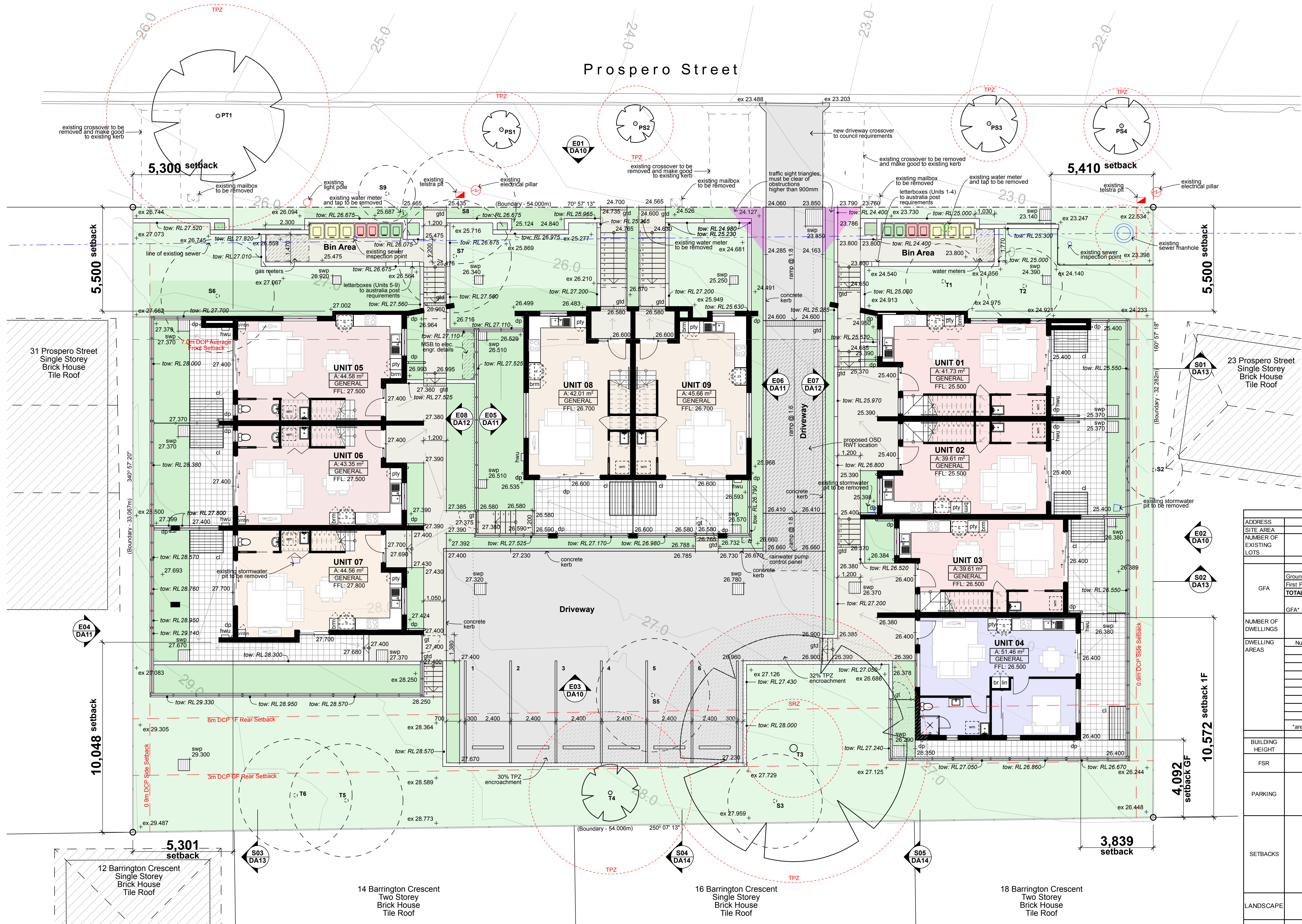
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Cut & Fill Plan
File:
2869.23_25-29 Prospero St,
Maryland_Part 5.pln

Plotted: 8/8/2023
2:09 pm

Status: **Part 5 Activity Submission**

Date:	8/8/2023	Scale:	1:100 @ A1	S14 job no:	2869.23	Project no:	BGWY9
Stage:	Part 5	Drawn:	MP/DD/AT	Checked:	ML	Approved:	ML
Drawing:	DA03	Sheet:	4	Rev:			04

of 27



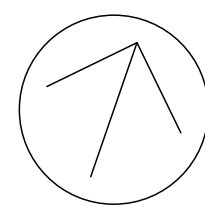
- Legend** (external work / site plan)
note: drawing may not contain all items listed below
- 64 ex. contours & banking line
 - existing trees to be removed
 - existing trees to be retained
 - proposed trees
 - ex. RL00.00 existing levels
 - RL00.00 proposed levels
 - 39,000 proposed spot levels
 - ac air conditioner condenser
 - acc accessible
 - adhc ageing, disability & home care
 - ap access panel
 - bal(1) balustrade (type)
 - bfc broom finished concrete
 - boe brick on edge
 - bl bollard
 - cc(1) coloured concrete (type)
 - cl(1) ceramic floor tile (type)
 - cl clothes line
 - col column
 - dp downpipe
 - drp doorpost
 - ex existing
 - fb(1) facebrick work (type)
 - fl finished floor level
 - ft(1) fence (type)
 - gb garbage bin
 - gt gate
 - gtd graded drain
 - hr(1) handrail (type)
 - ht hose tap
 - hwu hot water unit
 - hyd hydrant
 - kr kerb ramp
 - lb letter box
 - ofc off form concrete
 - pmp permeable pavers
 - pos private open space
 - pp power pole
 - rw(1) retaining wall (type)
 - rwo rainwater outlet
 - rwt rainwater tank
 - sfc steel float concrete
 - sfl structural floor level
 - swp storm water pit
 - tfc trowel finished concrete
 - tgsl tactile ground surface indicator
 - tow top of wall
 - wfc wood float concrete
 - ws wheel stop

DEVELOPMENT DATA - TOWNHOUSES				
ADDRESS	25-29 Prospero Street, Maryland			
SITE AREA	1,764.45m ²			
NUMBER OF EXISTING LOTS	Lots 395-397 DP 702896			
GFA	Land Zoning: R2			
	Ground Floor	392.63	m ²	
	First Floor	391.85	m ²	
	TOTAL	784.48	m²	
	GFA* measured to inner face of external enclosing wall, excluding garages.			
NUMBER OF DWELLINGS	9 Apartments - 1x 1 Bed, 5x 2 Bed, 3x 3 Bed			
DWELLING AREAS	Number	Type*	Beds	Area* (m ²)
	1	General	2	87.29
	2	General	2	84.01
	3	General	2	82.37
	4	General	1	51.46
	5	General	2	90.44
	6	General	2	87.57
	7	General	3	101.29
	8	General	3	95.44
	9	General	3	105.01
	*area = measured to internal face of external wall including internal walls.			
BUILDING HEIGHT	Control		Requirement	Proposed
	Housing SEPP		9m	7.95m
FSR	Newcastle LEP		0.6:1	0.44 : 1 (784.48 m ²)
	SEPP (Housing)		0.4 space per 1 bed = 0.4 0.5 space per 2 bed = 2.5 1 space per 3 bed = 3 total spaces required = 5.9 (6)	6 spaces
SETBACKS	Newcastle DCP		Front: average setback of buildings within 40m either side on same road = 7m Side: 4.5m high = 0.9m Rear: ≤4.5m high = 3m >4.5m high = 6m	building line = 7.95m front porch = 4.05m 3.84m
	Newcastle DCP		30% of lot area min 1.5m, min 3m at rear = 529.34m ²	535.03m ² (30% of site area)
LANDSCAPE	Newcastle DCP		15% of lot area, min 3m = 264.67m ²	401.45m ² (23% of site area)
DEEP SOIL	Newcastle DCP		70% of dwellings & POS must have 2hrs of direct sunlight between 9am to 3pm 21 June	Living - 7/9 = 78% POS - 9/9 = 100%
SOLAR ACCESS	LAHC Design Requirements		70% of dwellings & POS must have 2hrs of direct sunlight between 9am to 3pm 21 June	Living - 7/9 = 78% POS - 9/9 = 100%

01 Site & External Works Plan - Ground Floor
1:100



Planning & Environment



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03	10/05/23	Part 5 Issue
02	26/04/23	Part 5 Issue
01	14/04/23	Part 5 Issue
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Architect:

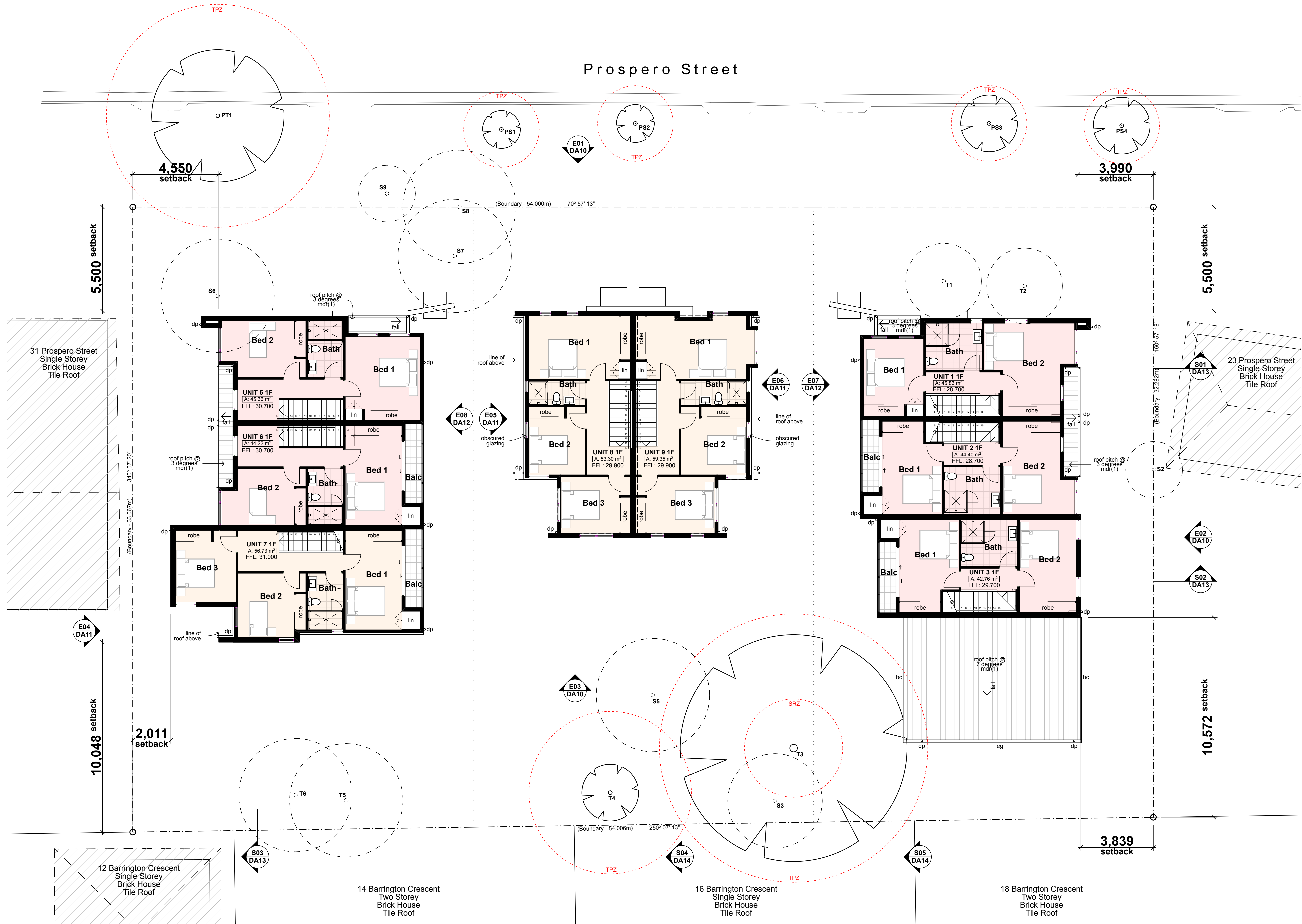
Stanton Dahl Architects

Project:
General Housing Development
at
25-29 Prospero Street, Maryland

Title:
Site & External Works Plan - Ground Floor
File:
2869.23 25-29 Prospero St, Maryland_Part 5.pln

Status:
Part 5 Activity Submission
Date:
8/8/2023
Scale:
1:100 @ A1
Stage:
Part 5
Drawing:
DA04
5 of 27
04

*bushfire note:
the BAL 12.5 construction requirements of the development to be in accordance to bushfire report provided by Newcastle Bushfire Consulting
Rev 4 dated 12 April 2023



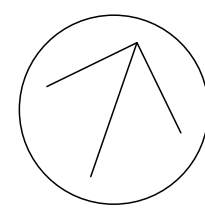
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 - RL00.00 → proposed levels
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 - bfc broom finished concrete
 - boe brick on edge
 - bl bollard light
 - bol bollard
 - cc(1) coloured concrete (type)
 - ctf(1) ceramic floor tile (type)
 - cl clothes line
 - col column
 - dp downpipe
 - drp doorpost
 - ex. existing
 - fb(1) facebrick work (type)
 - ffl finished floor level
 - ft(1) fence (type)
 - gb garbage bin
 - gt gate
 - gtd grated drain
 - ht(1) handrail (type)
 - ht hose tap
 - hwu hot water unit
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 - rwt rainwater tank
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 - swp storm water pit
 - tfc trowel finished concrete
 - tpsi tactile ground surface indicator
 - tow top of wall
 - wfc wood float concrete
 - ws wheel stop

*bushfire note:
the BAL 12.5 construction requirements of the development to be in accordance to bushfire report provided by Newcastle Bushfire Consulting Rev 4 dated 12 April 2023

01 Site & External Works Plan - First Floor
1:100



Planning & Environment



Rev	Date	Issue
03	08/08/23	Updated Part 5 Issue
02	10/05/23	Part 5 Issue
01	26/04/23	Part 5 Issue

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Ph: (02) 8876 5200
Landscape Consultant:
Botanique Design
Mob: 0404 887 620

Stormwater Consultant:
Greenview Consulting
Ph: (02) 8544 1483

Architect:

Stanton Dahl Architects

Project:
General Housing Development
at
25-29 Prospero Street, Maryland

Title:
Site & External Works Plan - First Floor
File:
2869.23_25-29 Prospero St, Maryland_Part 5.pln
Plotted: 8/8/2023 2:10 pm

Status: Part 5 Activity Submission
Date: 8/8/2023
Stage: Part 5
Drawing: DA05
Scale: 1:100 @ A1
S1d job no: 2869.23
Drawn: MP/DD/AT
Sheet: 6
S1d job no: BGWY9
Checked: ML
Approved: ML
Rev: 03

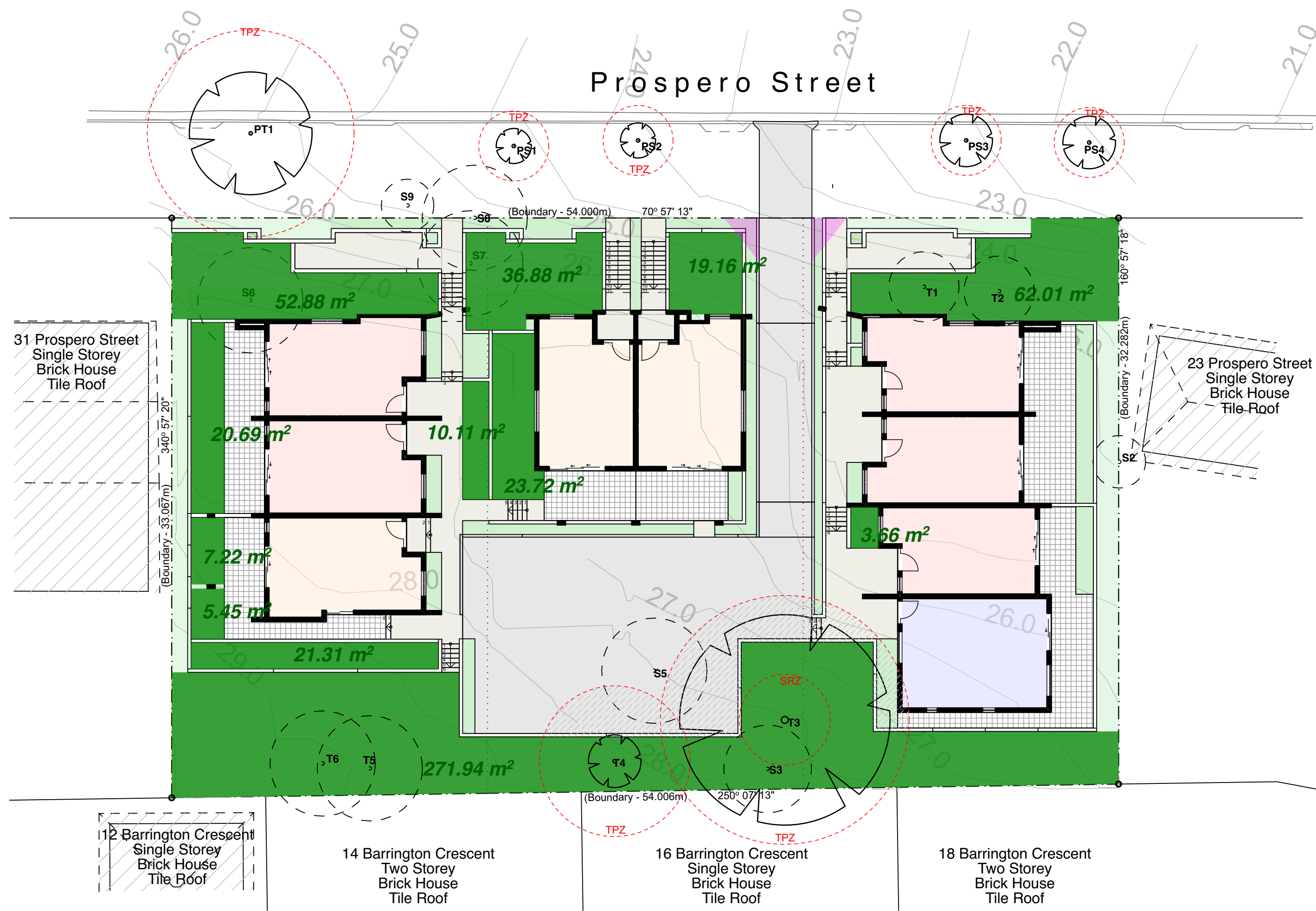
Legend
soft landscape & deep soil
note: drawing may not contain all items listed below

Dark Green area indicates
landscape area
(min. dim 1.5x1.5m)

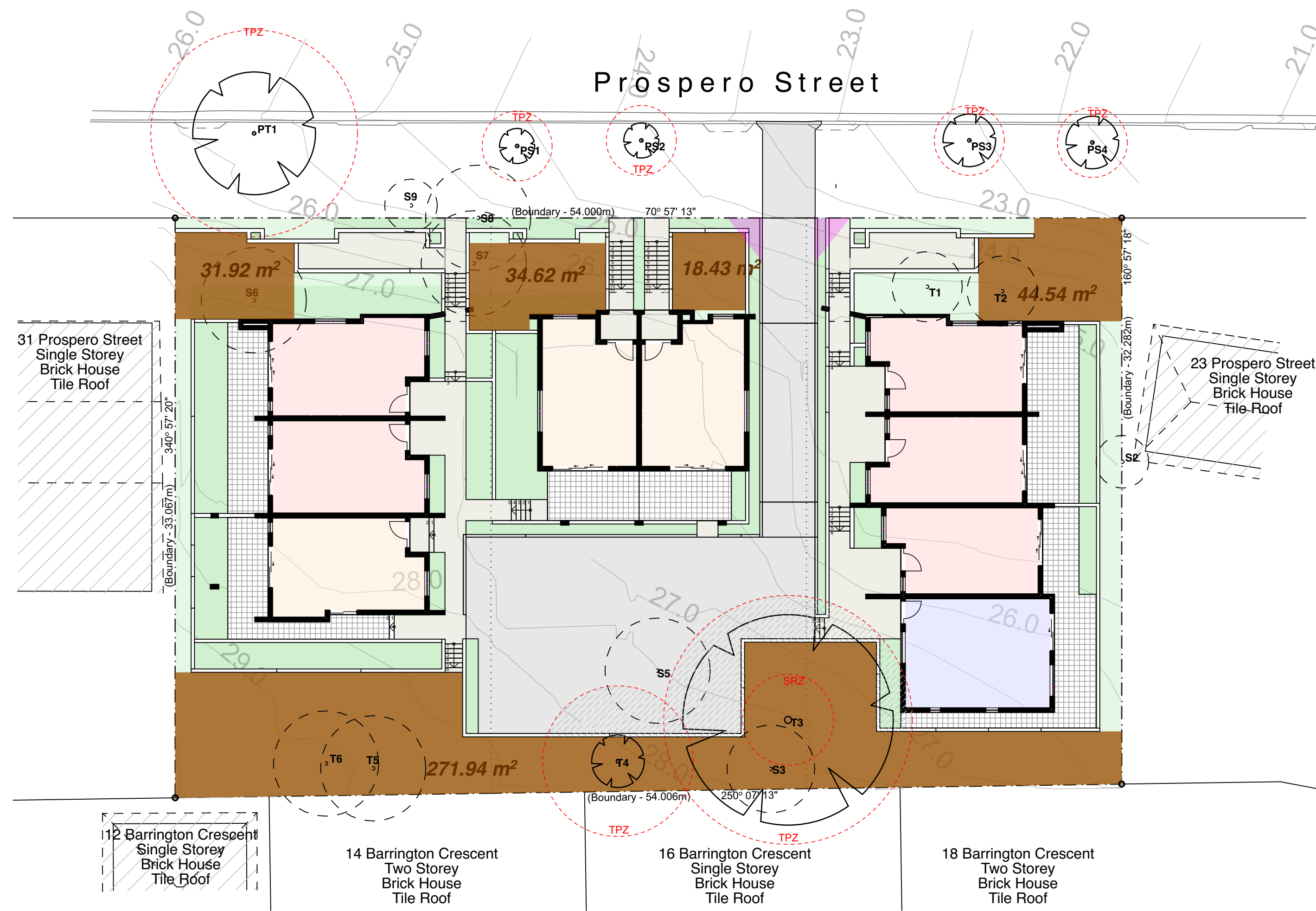
Total: 535.03 m²
(30% of site area)

Dark Brown area indicates
deep soil zone
(min. dim 3x3m)

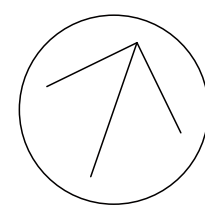
Total: 401.45 m²
(23% of site area)



01 Soft Landscaping Diagram
1:200



02 Deep Soil Diagram
1:200



05	08/08/23	Updated Part 5 Issue
04	16/06/23	Part 5 Issue
03	10/05/23	Part 5 Issue
02	26/04/23	Part 5 Issue
01	14/04/23	Part 5 Issue
Rev	Date	Issue

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Landscape Consultant:
Botanique Design
Mob: 0404 887 620

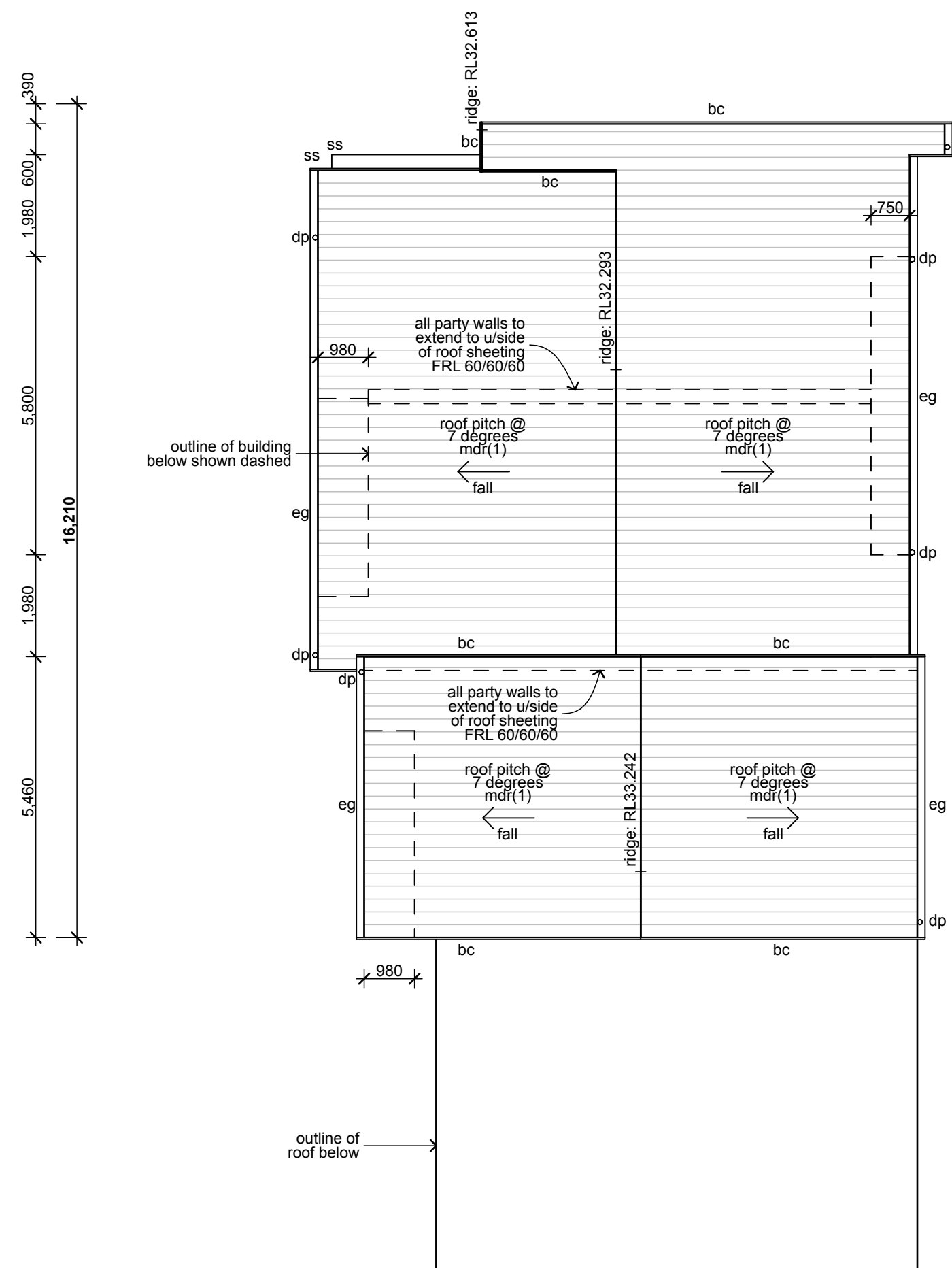
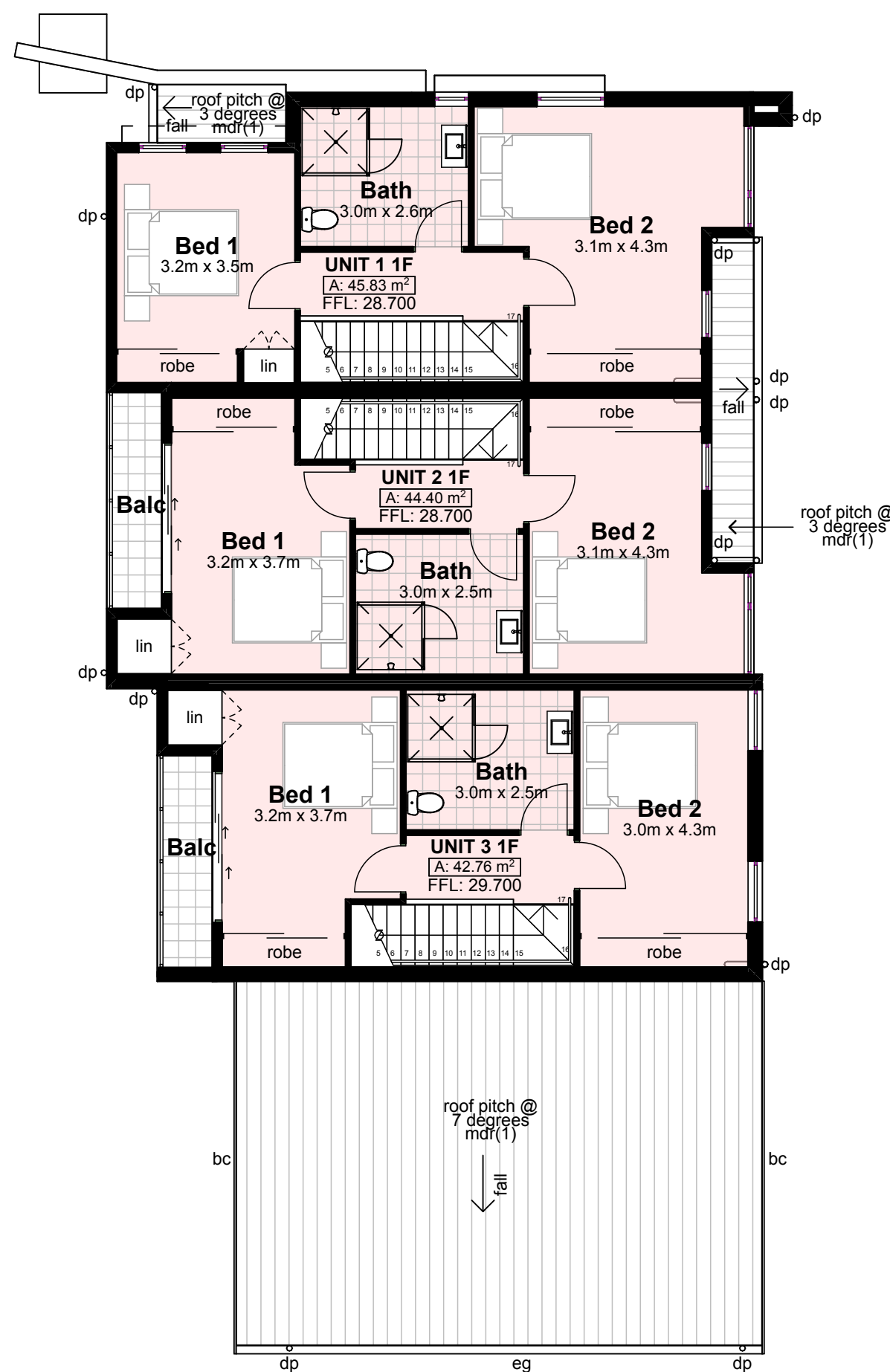
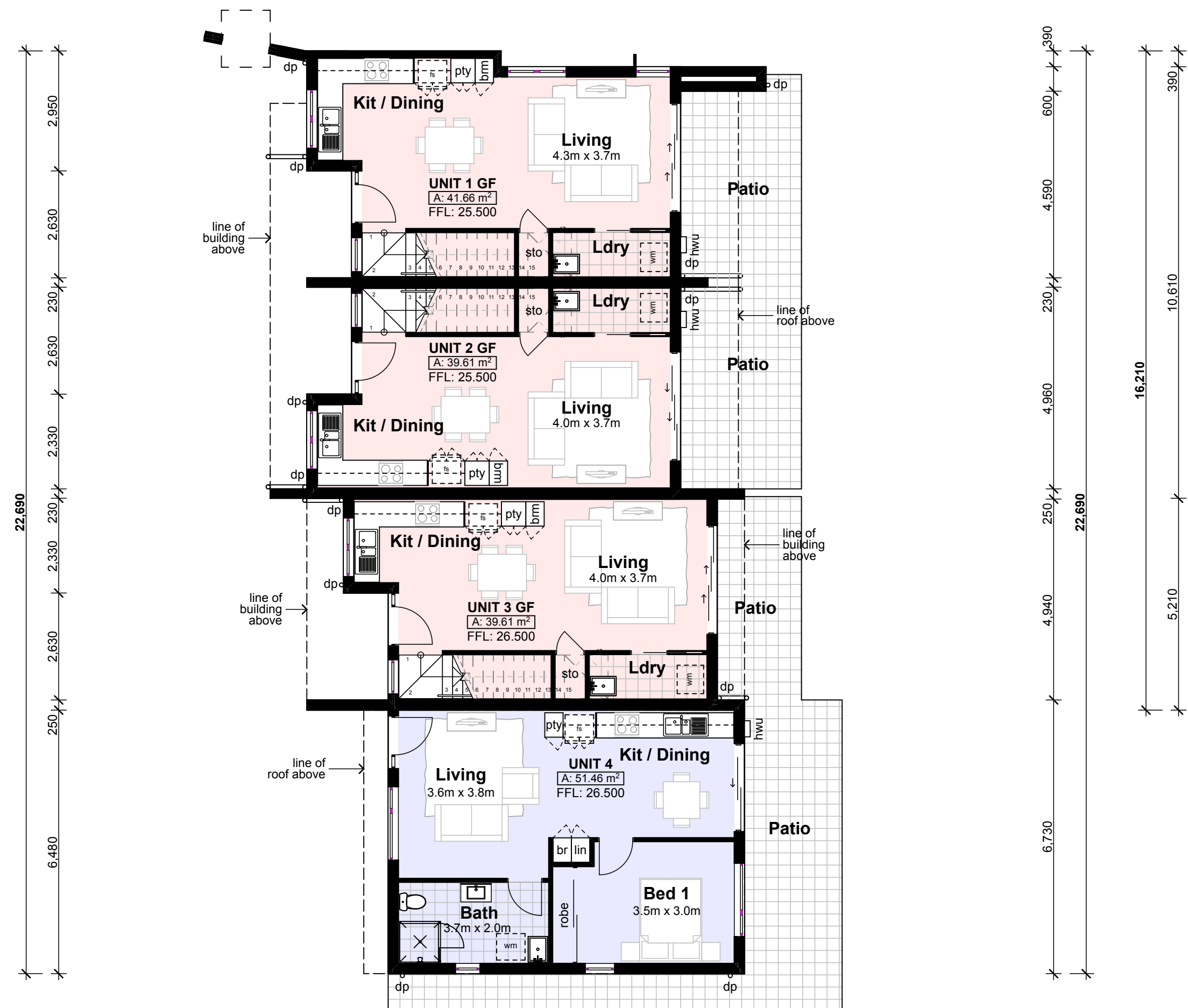
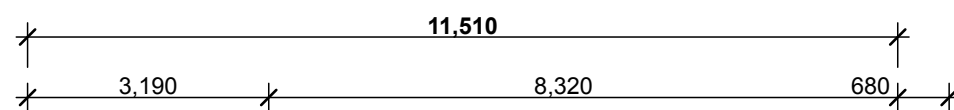
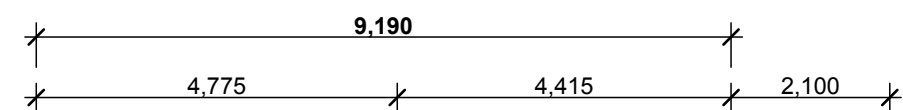
Stormwater Consultant:
Greenview Consulting
Ph: (02) 8544 1083

Architect:

Project:
General Housing Development
at
25-29 Prospero Street, Maryland

Title:
Landscape & Deep Soil Diagram
File:
2869.23_25-29 Prospero St,
Maryland_Part 5.pln
Plotted:
8/8/2023
2:10 pm

Status: Part 5 Activity Submission
Date:
8/8/2023
Stage:
Part 5
Drawing:
DA06
Scale:
1:200 @ A1
Drawn:
MP/DD/AT
Sheet:
7
S/D job no:
2869.23
ML
of
27
Project no:
BGWY9
Approved:
ML
Rev:
05



- Legend** (floor plans)
note: drawing may not contain all items listed below
- | | |
|---|---|
|  | door numbers (as scheduled)
(prefix ex. for existing door) |
|  | window numbers (as scheduled)
(prefix ex. for existing window) |
| (a) | wall type (as scheduled) |
| ac | air conditioner condenser |
| acc | accessible |
| adhc | ageing, disability & home care |
| amb | ambulant |
| ap | access panel |
| bal(t1) | balustrade (type) |
| bfc | bottom finish concrete |
| bol | bollard |
| brm | broom cupboard |
| bsn | basin |
| ctf(t1) | ceramic floor tile (type) |
| cj | control joint |
| cl | clothes line |
| col | column |
| comms | communication cabinet |
| cp(t1) | carpet (type) |
| ct | cooktop |
| dn | downpipe |
| drp | doorpost |
| edb | electrical distribution box |
| ex | existing |
| f(t1) | face brickwork (type) |
| fn | fire hose reel |
| fs | feature panel |
| fs | fridge space |
| fw | floor waste |
| gb | garbage bin |
| gt | gate |
| gtd | grated drain |
| hr(t1) | handrail (type) |
| ht | hose tap |
| hwu | hot water unit |
| hyd | hydrant |
| kr | kerb ramp |
| lb | letter box |
| lin | linen cupboard |
| mw | microwave |
| ofc | off form concrete |
| ps | privacy screen |
| pty | pantry |
| ref | refrigerator |
| rfm | recessed floor mat |
| rft | wardrobe |
| rw(t1) | retaining wall (type) |
| rwt | rainwater tank |
| snk | sink |
| sc | steel column |
| sfc | steel float concrete |
| shr | shower |
| sk | skylight/skytube |
| sl | sliding door |
| st | store |
| sv(t1) | sheet vinyl (type) |
| swp | storm water pit |
| tsi | tactile ground surface indicators |
| vp | vent pipe |
| wfc | wood float concrete |
| wm | washing machine space |
| wo | wall oven |
| ws | wheel stop |
| wcs | window casing |

- Legend** (roof plans)
 note: drawing may not contain all items listed below
- | | |
|--------|---------------------------------|
| ap | access panel |
| bc | barge capping |
| dp | downpipe |
| eg | eaves gutter |
| ex | existing |
| fg | fashing |
| gu | gutter |
| mdr(1) | metal deck roof sheeting (type) |
| o | overflow |
| pc | parapet capping |
| pv | photovoltaic cells |
| rrc | roof ridge capping |
| rwh | rainwater head |
| sk | skylight/skytube |
| tf | tray flashing |
| vg | valley gutter |
| vof | vertical overflow |
| vp | vent pipe |

*bushfire note:
the BAL 12.5 construction requirements
of the development to be in accordance
to bushfire report provided by
Newcastle Bushfire Consulting
Rev 4 dated 12 April 2023

A number line diagram illustrating the addition of 2,000 and 8,760. The top line has two tick marks: one at 2,000 and another at 8,760. The bottom line has a single tick mark at 10,760, representing the sum of the two numbers above.

A dimension line with two segments. The first segment is labeled 900 and the second segment is labeled 10,760. A bracket below the entire line indicates a total dimension of 11,660.

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Rev 4 dated 12 April 2023

Title:
Floor Plans (Units 1-4)

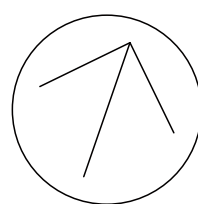
File:
2869.23_25-29 Prospero St,
Maryland Part 5.pln

Plotted: 8/8/2023
2:10 pm

Status: Part 5 Activity Submission			
Date:	Scale:	S/d job no:	Project no.
8/8/2023	1:100 @ AI	2869.23	BGWY9
Stage:	Drawn:	Checked:	Approved:
Part 5	MP/DD/AT	ML	ML
Drawing:	Sheet:		Rev:
DA07	8	of 27	04



Planning & Environment



04	08/08/23	Updated Part 5 Issue
03	10/05/23	Part 5 Issue
02	26/04/23	Part 5 Issue
01	14/04/23	Part 5 Issue
Rev	Date	Issue

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Architect:

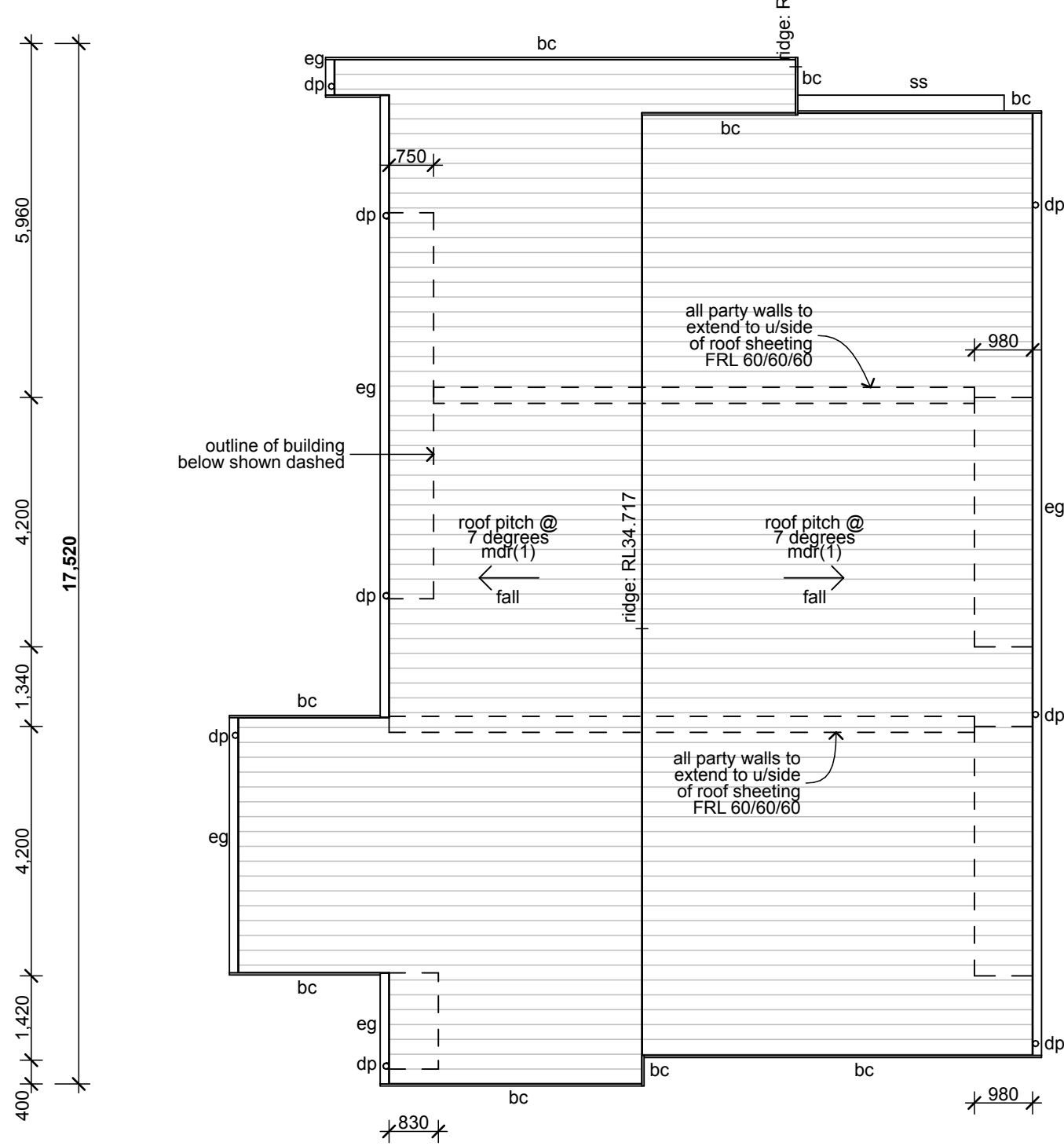
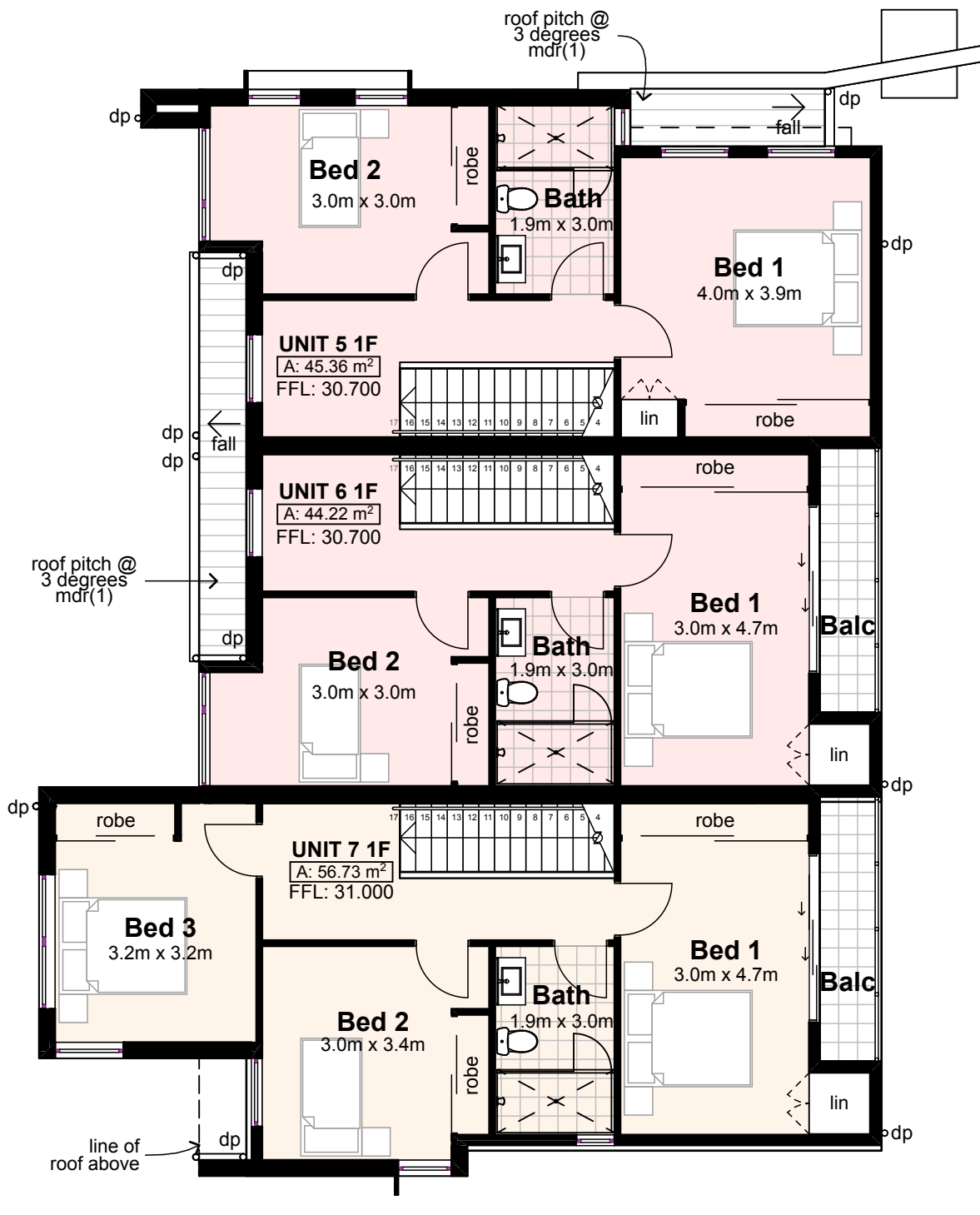
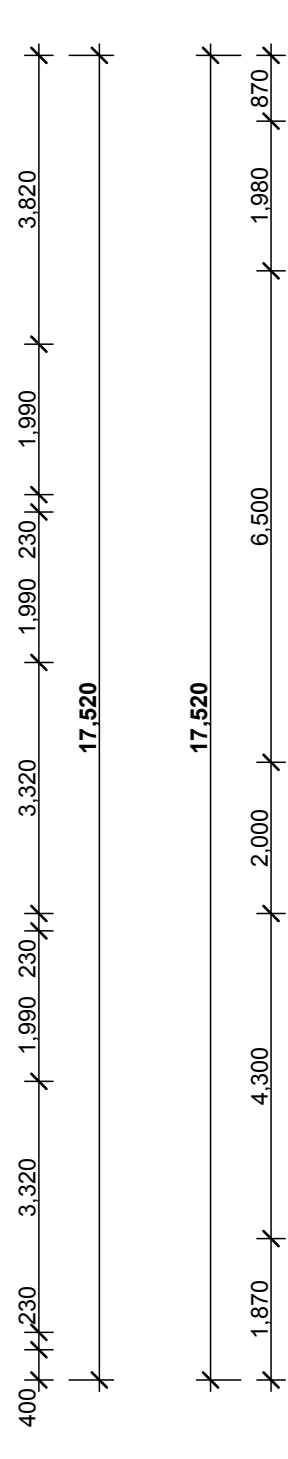
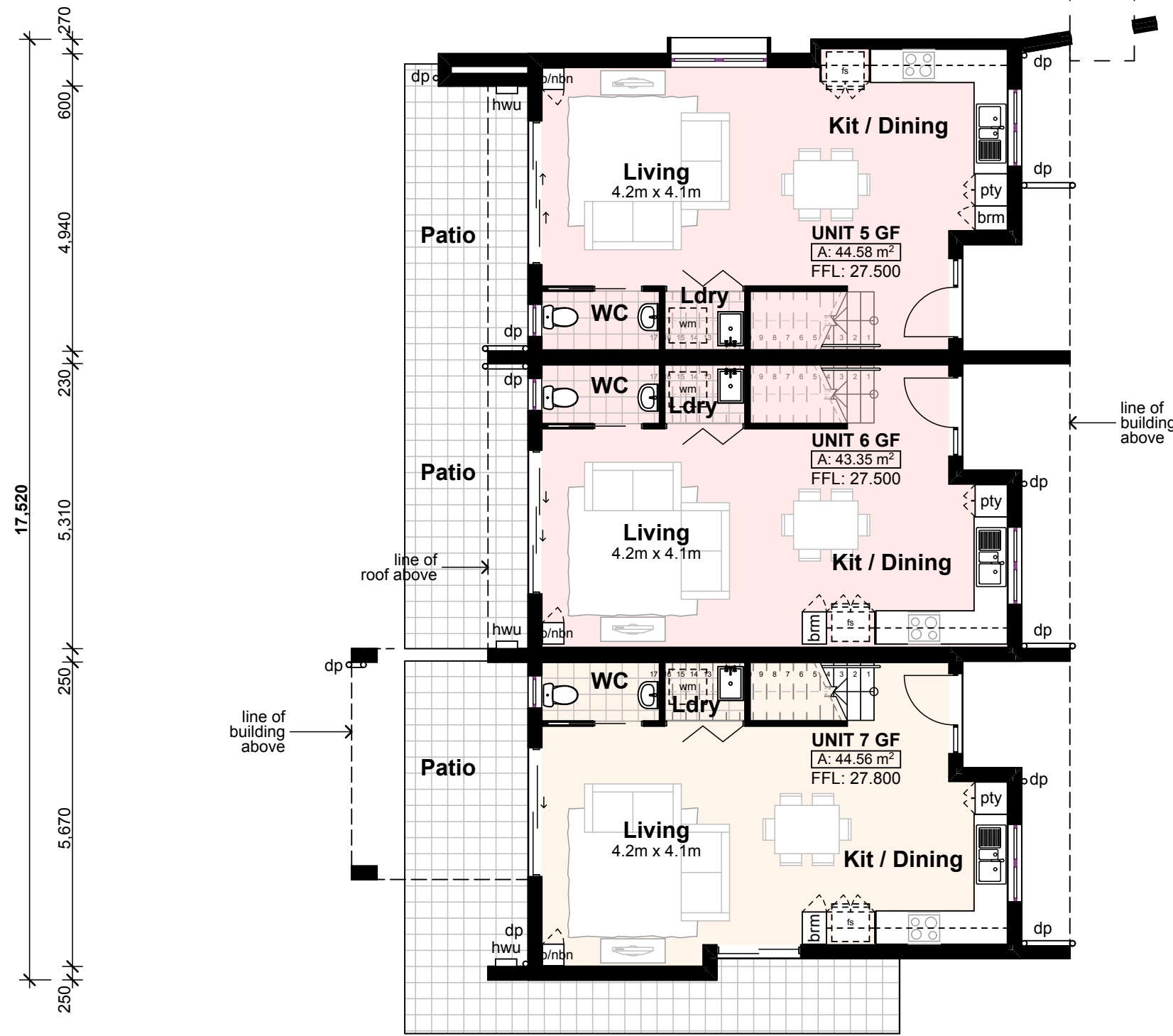
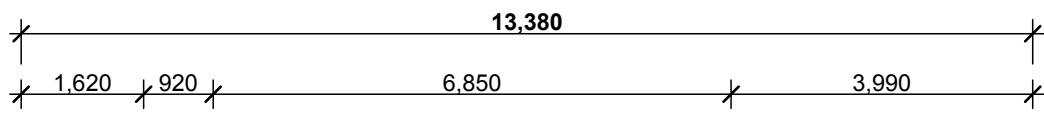
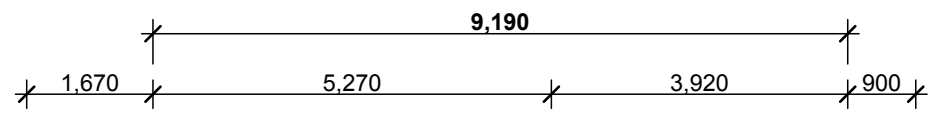
**Stanton
Dahl
Architects**

Project:
General Housing Development
at
25-29 Prospero Street, Maryland

Title:
Floor Plans (Units 1-4)

Status: Part 5 Activity Submission

Date:	Scale:	S/d job no:	Project no.
8/8/2023	1:100 @ AI	2869.23	BGWY9
Stage:	Drawn:	Checked:	Approved:
Part 5	MP/DD/AT	ML	ML
Drawing:	Sheet:		Rev:
DA07	8	of 27	04



01 Ground Floor Plan (Units 5-7)
1:100

02 First Floor Plan (Units 5-7)
1:100

03 Roof Plan (Units 5-7)
1:100

Legend (floor plans)

note: drawing may not contain all items listed below

- door numbers (as scheduled)
(prefix ex. for existing door)
- window numbers (as scheduled)
(prefix ex. for existing window)

(a) wall type (as scheduled)

- ac air conditioner condenser
- acc accessible
- adhc ageing, disability & home care
- amb ambulant
- ap access panel
- bal(1) balustrade (type)
- bfc broom finish concrete
- bol bollard
- brm broom cupboard
- bsn basin
- ctf(1) ceramic floor tile (type)
- cj control joint
- cl clothes line
- col column
- comms communication cabinet
- cpl(1) carpet (type)
- ct cooktop
- dp downpipe
- drp doorpost
- edb electrical distribution box
- ex existing
- fb(1) face brickwork (type)
- fhr fire hose reel
- fp feature panel
- fs fridge space
- fw floor waste
- gb garbage bin
- gt gate
- gtd grated drain
- hr(1) handrail (type)
- ht hose tap
- hwu hot water unit
- hyd hydrant
- kr kerb ramp
- lb letter box
- lin linen cupboard
- mw microwave
- ofc off form concrete
- ps privacy screen
- ply pantry
- ref refrigerator
- rfl recessed floor mat
- robe wardrobe
- rw(1) retaining wall (type)
- rvt rainwater tank
- snk sink
- sc steel column
- sfc steel float concrete
- shr shower
- sk skylight/skytube
- sl sliding door
- st store
- sv(1) sheet vinyl (type)
- swp storm water pit
- tgsl tactile ground surface indicators
- vp vent pipe
- wfc wood float concrete
- wm washing machine space
- wo wall oven
- ws wheel stop
- wcs window casing

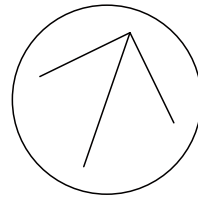
Legend (roof plans)

note: drawing may not contain all items listed below

- ap access panel
- bc large capping
- dp downpipe
- eg eaves gutter
- ex existing
- fg flashing
- gu gutter
- mdr(1) metal deck roof sheeting (type)
- of overflow
- pc parapet capping
- pvt photovoltaic cells
- rc roof ridge capping
- rwh rainwater head
- sk skylight/skytube
- tf tray flashing
- vg valley gutter
- vof vertical overflow
- vp vent pipe

*bushfire note:

the BAL 12.5 construction requirements
of the development to be in accordance
to bushfire report provided by
Newcastle Bushfire Consulting
Rev 4 dated 12 April 2023



04	08/08/23	Updated Part 5 Issue
03	10/05/23	Part 5 Issue
02	26/04/23	Part 5 Issue
01	14/04/23	Part 5 Issue
Rev	Date	Issue

do not scale drawings, check all dimensions on site,
figured dimensions take precedence.

Project Architect:
Stanton Dahl Architects
Ph: (02) 8876 5200

Landscape Consultant:
Botanique Design
Mob: 0404 887 620

Stormwater Consultant:
Greenview Consulting
Ph: (02) 8544 1083

Architect:

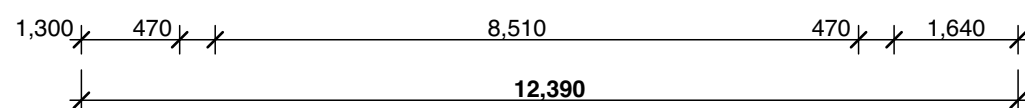
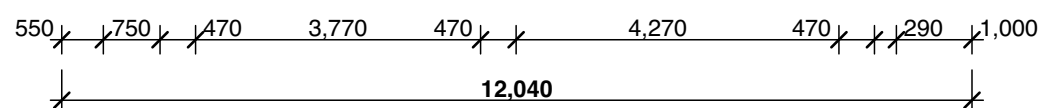
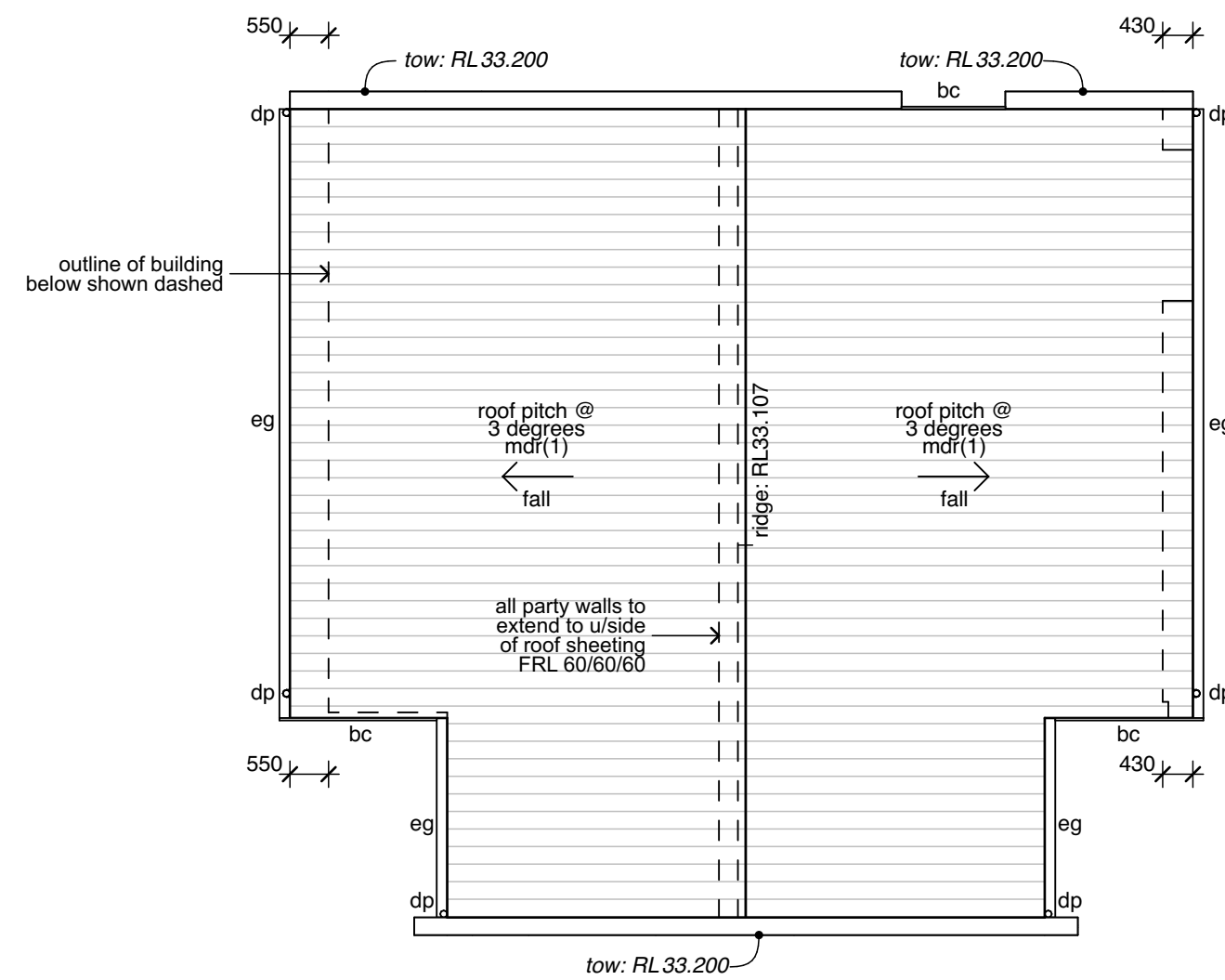
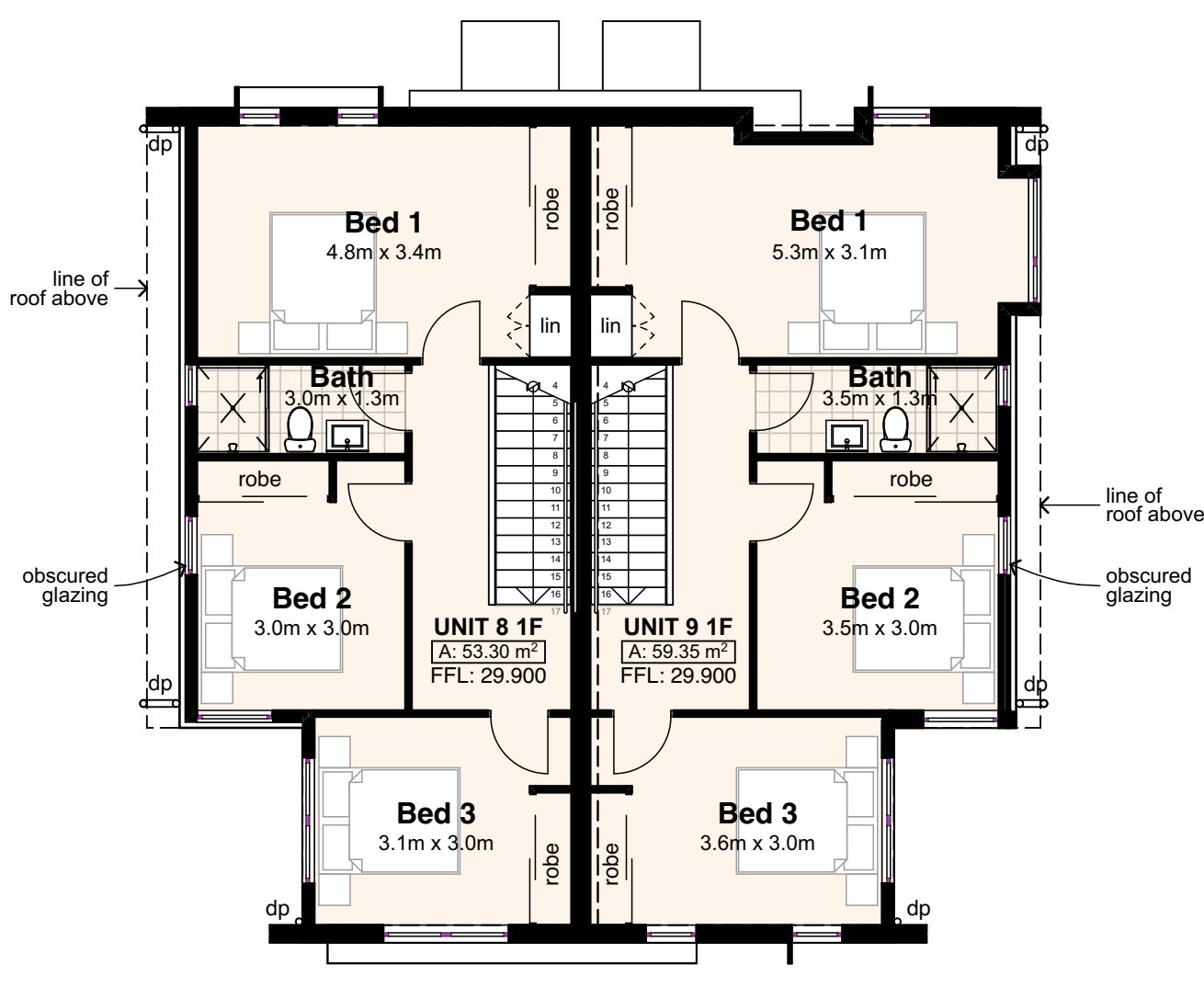
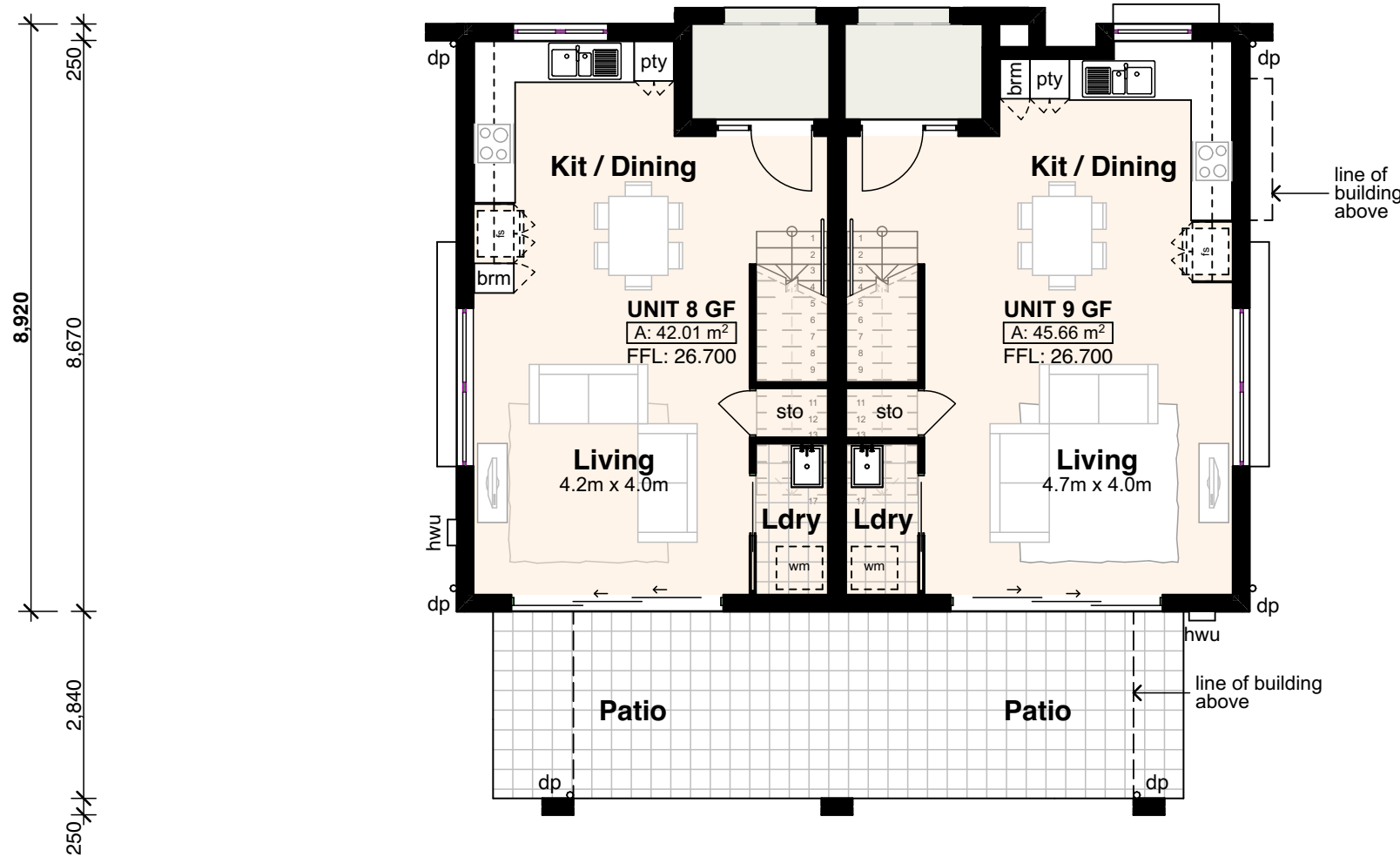
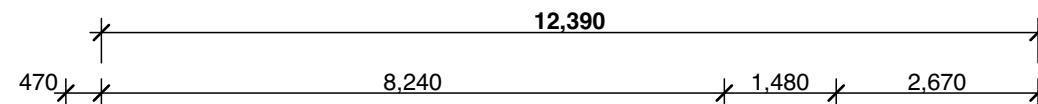
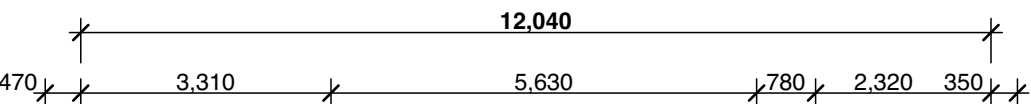
Project:
General Housing Development
at
25-29 Prospero Street, Maryland

Title:
Floor Plans (Units 5-7)
File:
2869.23_25-29 Prospero St,
Maryland_Part 5.pln

Plotted:
8/8/2023
2:10 pm

Status: Part 5 Activity Submission

Date:	Scale:	S/D job no:	Project no:
8/8/2023	1:100 @ A1	2869.23	BGWY9
Stage:	Drawn:	Checked:	Approved:
Part 5	MP/DD/AT	ML	ML
Drawing:	Sheet:		Rev:
DA08	9	of 27	04



02 First Floor Plan (Units 8-9)
1:100

03 Roof Plan (Units 8-9)

Legend (floor plans)
note: drawing may not contain all items listed below

	door numbers (as scheduled) (prefix ex. for existing door)
	window numbers (as scheduled) (prefix ex. for existing window)
(a)	wall type (as scheduled)

ac	air conditioner condenser
acc	accessible
adhc	ageing, disability & home care
amb	ambulant
ap	access panel
bal(1)	balustrade (type)
baf	barcon finish concrete
bol	bollard
brm	brum cupboard
bsn	basin
ctf(1)	ceramic floor tile (type)
cj	control joint
cl	clothes line
col	column
comms	communication cabinet
cqp(1)	carpet (type)
ct	cooktop
dp	downpipe
drp	doorpost
edb	electrical distribution box
ex.	existing
fb(1)	face brickwork (type)
fr	fire hose reel
fp	feature panel
fs	fridge space
fw	floor waste
gb	garbage bin
gt	gate
gtd	graded drain
hr(1)	handrail (type)
ht	hose tap
hwu	hot water unit
hyd	hydrant
kr	kerb ramp
lb	letter box
lin	linen cupboard
mw	microwave
ofc	off form concrete
ps	privacy screen
pty	pantry
ref	refrigerator
rfm	recessed floor mat
robe	wardrobe
rw(1)	retaining wall (type)
rwrt	rainwater tank
srnk	sink
sc	steel column
slc	steel floor grate
shr	shower
sk	skylight/skytube
sl	sliding door
	store
sv(1)	sheet vinyl (type)
swp	storm water pit
tgsi	tactile ground surface indicator
vp	vent pipe
wf	wood float concrete
wm	washing machine space
wo	wall oven
ws	wheel stop
wcs	window casing

Legend (roof plans)
 note: drawing may not contain all items listed below

ap	access panel
bc	barge capping
dp	downpipe
eg	eaves gutter
ex	existing
fg	flashing
gu	gutter
mdr(1)	metal deck roof sheeting (type)
of	overflow
pc	parapet capping
pv	photovoltaic cells
rr	roof ridge capping
rwh	rainwater head
sk	skylight/skytube
tf	tray flashing
vg	valley gutter
vof	vertical overflow
vp	vent pipe

*bushfire note:
the BAL 12.5 construction requirements
of the development to be in accordance
to bushfire report provided by
Newcastle Bushfire Consulting
Rev 4 dated 12 April 2023

Project Architect:
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Ph: (02) 8876 5300

Landscape Consultant:
Botanique Design
Mob: 0404 887 630

Stormwater Consultant:
Greenview Consulting
Ph: (02) 8544 1683

Stanton
Dahl
Architects

Project:
General Housing Development
at
25-29 Prospero Street, Maryland

File:
2869.23_25-29 Prospero St,
Maryland Part 5.pln

Plotted: 8/8/2023
2:10 pm

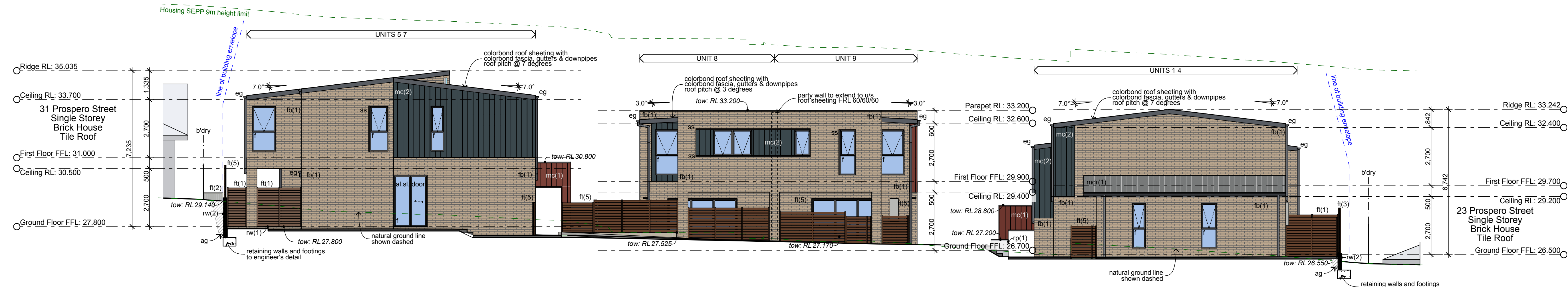
Status: Part 5 Activity Submission			
Date:	Scale:	S/d job no:	Project no.
8/8/2023	1:100 @ AI	2869.23	BGWY9
Stage:	Drawn:	Checked:	Approved:
Part 5	MP/DD/AT	ML	ML
Drawing:	Sheet:		Rev:
DA09	10	of 27	04



E01 North Elevation (Prospero Street)
1:100



E02 East Elevation
1:100



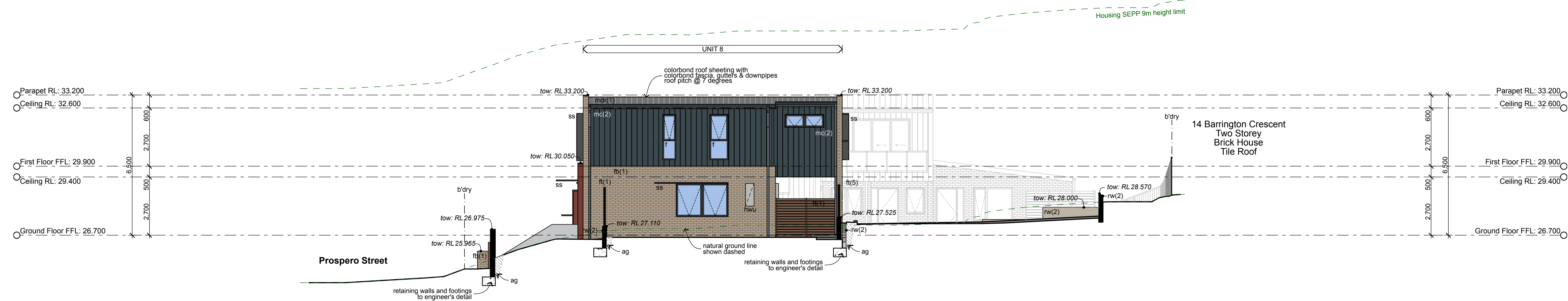
E03 South Elevation
1:100

- Legend** (elevation & sections)
note: drawing may not contain all items listed below
- ac air conditioner condenser
 - ag ag pipe
 - alv adjustable louvres
 - alw aluminium framed window
 - bal(1) balustrade (type)
 - bc barge capping
 - bg box gutter
 - boe brick on edge
 - bws brickwork sill
 - cfc compressed fibre cement
 - cj control joint
 - conc. concrete
 - cs coved skirting
 - csc cut soldier course
 - dp downpipe
 - dhr door head
 - dms decorative metal screen
 - eg eaves gutter
 - egl existing ground line
 - ex. existing
 - f fixed sash window
 - fb(1) face brickwork (type)
 - fd finished ceiling level
 - fl finished floor level
 - flv fixed louvres
 - fp feature panel
 - ft(1) fence (type)
 - gl ground line
 - gt gate
 - hr(1) handrail (type)
 - ip insulated panel
 - mc(1) metal cladding (type)
 - mdr(1) metal deck roof (type)
 - mps metal privacy screen
 - nc non structural column
 - og obscure glazing
 - ofc off form concrete
 - olv operable louvres
 - p(1) paint (type)
 - pap(1) perforated acoustic panel (type)
 - pbd plasterboard
 - ps privacy screen
 - pv photovoltaic cells
 - rc rendered concrete
 - rms raked metal soffit
 - rp(1) render & paint finish (type)
 - rs roller shutter
 - rw(1) retaining wall (type)
 - nwh rainwater head
 - s sliding sash window
 - sc steel column
 - sk skylight/skylube
 - sl sliding door
 - ss(1) sun shade (type)
 - ts timber skirting
 - wcs window casing

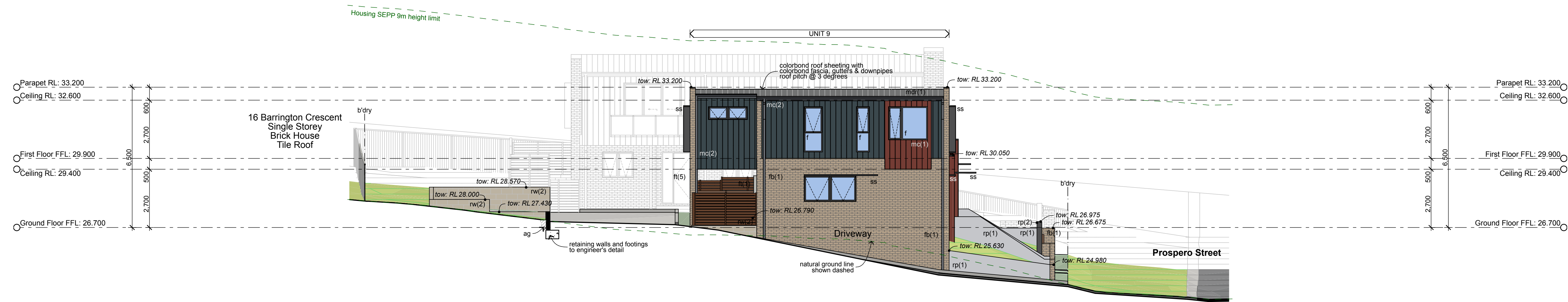
- Fence Type**
- ft(1) 1.8m high powdercoated metal slatted fence (horizontal)
 - ft(2) 1.8m high colorbond fence
 - ft(3) 2.1m high powdercoated metal slatted fence (horizontal)
 - ft(4) 0.9m high powdercoated metal slatted fence (vertical)



E04 West Elevation
1:100



E05 Units 8-9 West Elevation
1:100



E06 Units 8-9 East Elevation
1:100

Legend (elevation & sections)	
note: drawing may not contain all items listed below	
ac	air conditioner condenser
ag	ag pipe
alv	adjustable louvers
alw	aluminium framed window
bal(1)	balustrade (type)
bc	barge capping
bg	box gutter
boe	brick on edge
bws	brickwork sill
cfc	compressed fibre cement
cj	control joint
conc.	concrete
cs	coved skirting
csc	cut soldier course
dp	downpipe
drh	door head
dms	decorative metal screen
eg	eaves gutter
egl	existing ground line
ex.	existing
f	fixed sash window
fb(1)	face brickwork (type)
fd	finished ceiling level
fl	finished floor level
flv	fixed louvers
fp	feature panel
ft(1)	fence (type)
gl	ground line
gt	gate
hr(1)	handrail (type)
ip	insulated panel
mcl(1)	metal cladding (type)
mdr(1)	metal deck roof (type)
mps	metal privacy screen
nc	non structural column
og	obscure glazing
ofc	off form concrete
olv	operable louvers
p(1)	paint (type)
pap(1)	perforated acoustic panel (type)
pbd	plasterboard
ps	privacy screen
pv	photovoltaic cells
rc	rendered concrete
rms	raked metal soffit
rp(1)	render & paint finish (type)
rs	roller shutter
rw(1)	retaining wall (type)
rwh	rainwater head
s	sliding sash window
sc	steel column
sk	skylight/skylube
sl	sliding door
ss(1)	sun shade (type)
ts	timber skirting
wcs	window casing

Fence Type	
ft(1)	1.8m high powdercoated metal slatted fence (horizontal)
ft(2)	1.8m high colorbond fence
ft(3)	2.1m high powdercoated metal slatted fence (horizontal)
ft(4)	0.9m high powdercoated metal slatted fence (vertical)



E07 Units 1-4 West Elevation
1:100



E08 Units 5-7 East Elevation
1:100

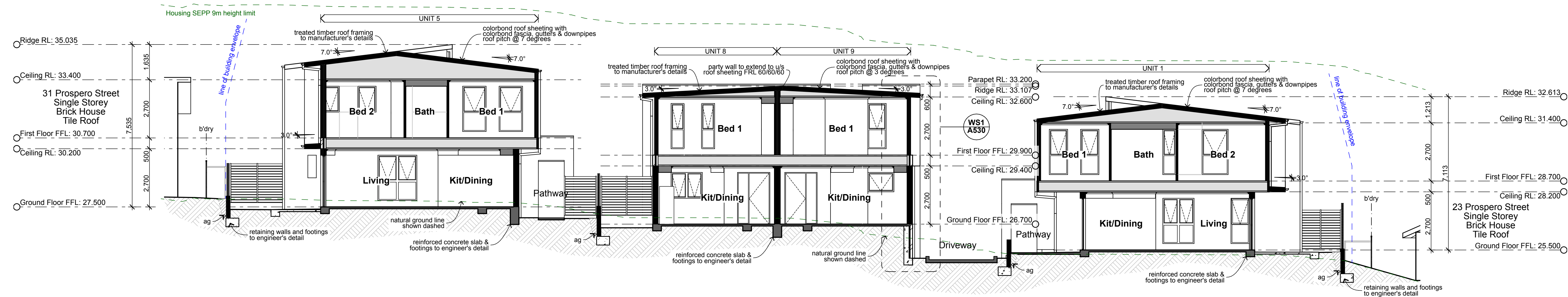
Legend (elevation & sections)

note: drawing may not contain all items listed below

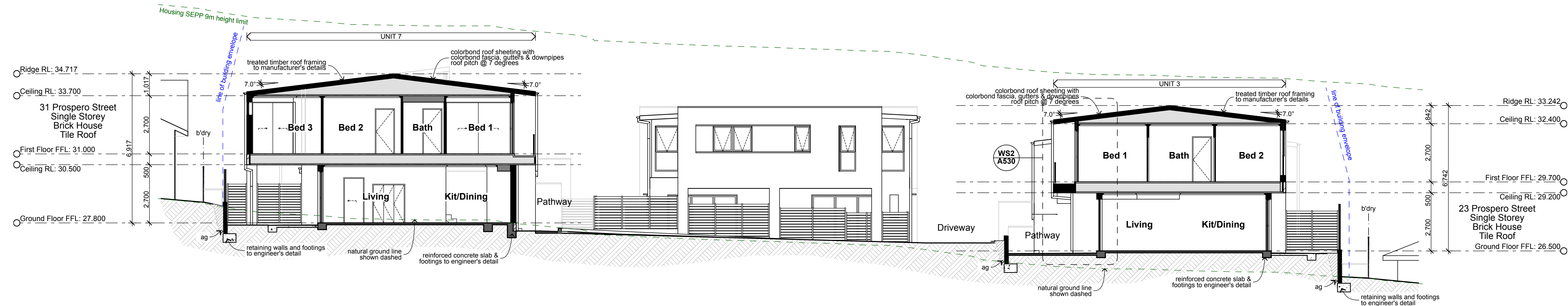
ac	air conditioner condenser
ag	ag pipe
alv	adjustable louvres
alw	aluminium framed window
bal(1)	balustrade (type)
bc	barge capping
bg	box gutter
boe	brick on edge
bws	brickwork sill
cfc	compressed fibre cement
cj	control joint
conc.	concrete
cs	coved skirting
csc	cut soldier course
dp	downpipe
drh	door head
dms	decorative metal screen
eg	eaves gutter
egl	existing ground line
ex.	existing
f	fixed sash window
fb(1)	face brickwork (type)
fd	finished ceiling level
fl	finished floor level
flv	fixed louvres
fp	feature panel
ft(1)	fence (type)
gl	ground line
gt	gate
hr(1)	handrail (type)
ip	insulated panel
mc(1)	metal cladding (type)
mdr(1)	metal deck roof (type)
mps	metal privacy screen
nc	non structural column
og	obscure glazing
ofc	off form concrete
olv	operable louvres
p(1)	paint (type)
pap(1)	perforated acoustic panel (type)
pbd	plasterboard
ps	privacy screen
pv	photovoltaic cells
rc	rendered concrete
rms	raked metal soffit
rp(1)	render & paint finish (type)
rs	roller shutter
rw(1)	retaining wall (type)
nwh	rainwater head
s	sliding sash window
sc	steel column
sk	skylight/skytube
sl	sliding door
ss(1)	sun shade (type)
ts	timber skirting
wcs	window casing

Fence Type

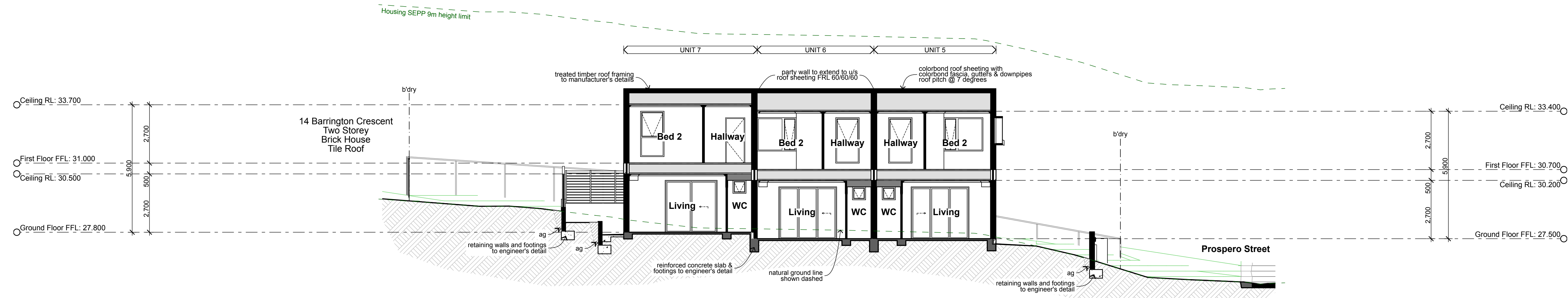
ft(1)	1.8m high powdercoated metal slatted fence (horizontal)
ft(2)	1.8m high colorbond fence
ft(3)	2.1m high powdercoated metal slatted fence (horizontal)
ft(4)	0.9m high powdercoated metal slatted fence (vertical)



S01 South Section 1
1:100



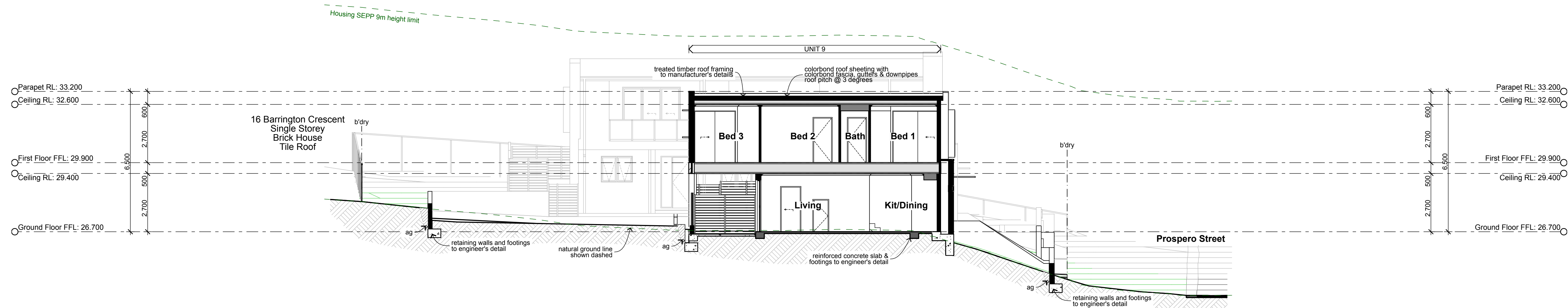
S02 South Section 2
1:100



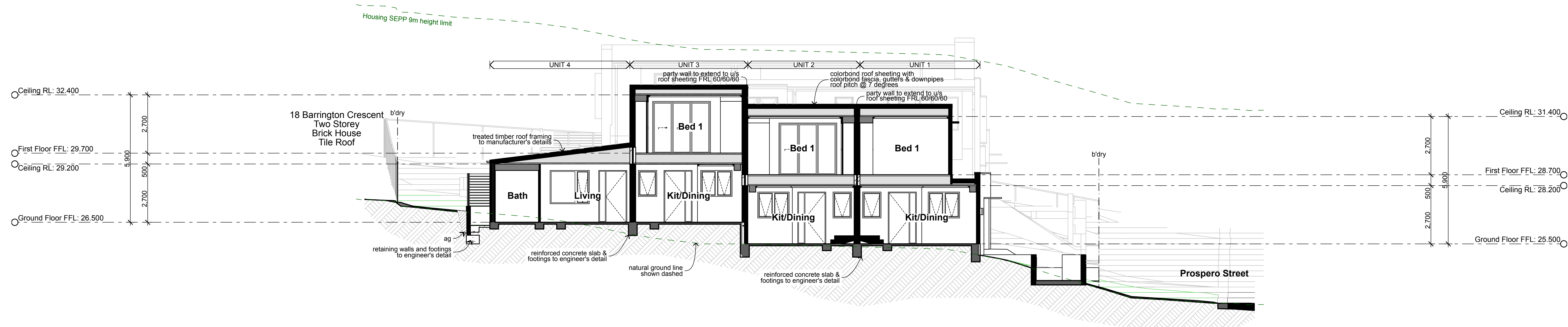
S03 East Section 1
1:100

- Legend** (elevation & sections)
note: drawing may not contain all items listed below
- ac air conditioner condenser
 - ag ag pipe
 - alv adjustable louvers
 - alw aluminium framed window
 - bal(1) balustrade (type)
 - bc barge capping
 - bg box gutter
 - boe brick on edge
 - bws brickwork cement
 - cfc compressed fibre cement
 - cj control joint
 - conc. concrete
 - cs coved skirting
 - csc cut soldier course
 - dp downpipe
 - drh door head
 - dms decorative metal screen
 - egl existing ground line
 - ex existing
 - f fixed sash window
 - fb(1) face brickwork (type)
 - fd finished ceiling level
 - flt finished floor level
 - flv fixed louvers
 - fp feature panel
 - ft(1) fence (type)
 - gl ground line
 - gt gate
 - hr(1) handrail (type)
 - ip insulated panel
 - mcl(1) metal cladding (type)
 - mdr(1) metal deck roof (type)
 - mps metal privacy screen
 - nc non structural column
 - og obscure glazing
 - ofc off form concrete
 - olv operable louvers
 - p(1) paint (type)
 - pap(1) perforated acoustic panel (type)
 - pbd plasterboard
 - ps privacy screen
 - pv photovoltaic cells
 - rc rendered concrete
 - rms raked metal soffit
 - rp(1) render & paint finish (type)
 - rs roller shutter
 - rw(1) retaining wall (type)
 - rwh rainwater head
 - s sliding sash window
 - sc steel column
 - sk skylight/skytube
 - sl sliding door
 - ss(1) sun shade (type)
 - ts timber skirting
 - wcs window casing

- Fence Type**
- ft(1) 1.8m high powdercoated metal slatted fence (horizontal)
 - ft(2) 1.8m high colorbond fence
 - ft(3) 2.1m high powdercoated metal slatted fence (horizontal)
 - ft(4) 0.9m high powdercoated metal slatted fence (vertical)



S04 East Section 2
1:100



S05 East Section 3
1:100

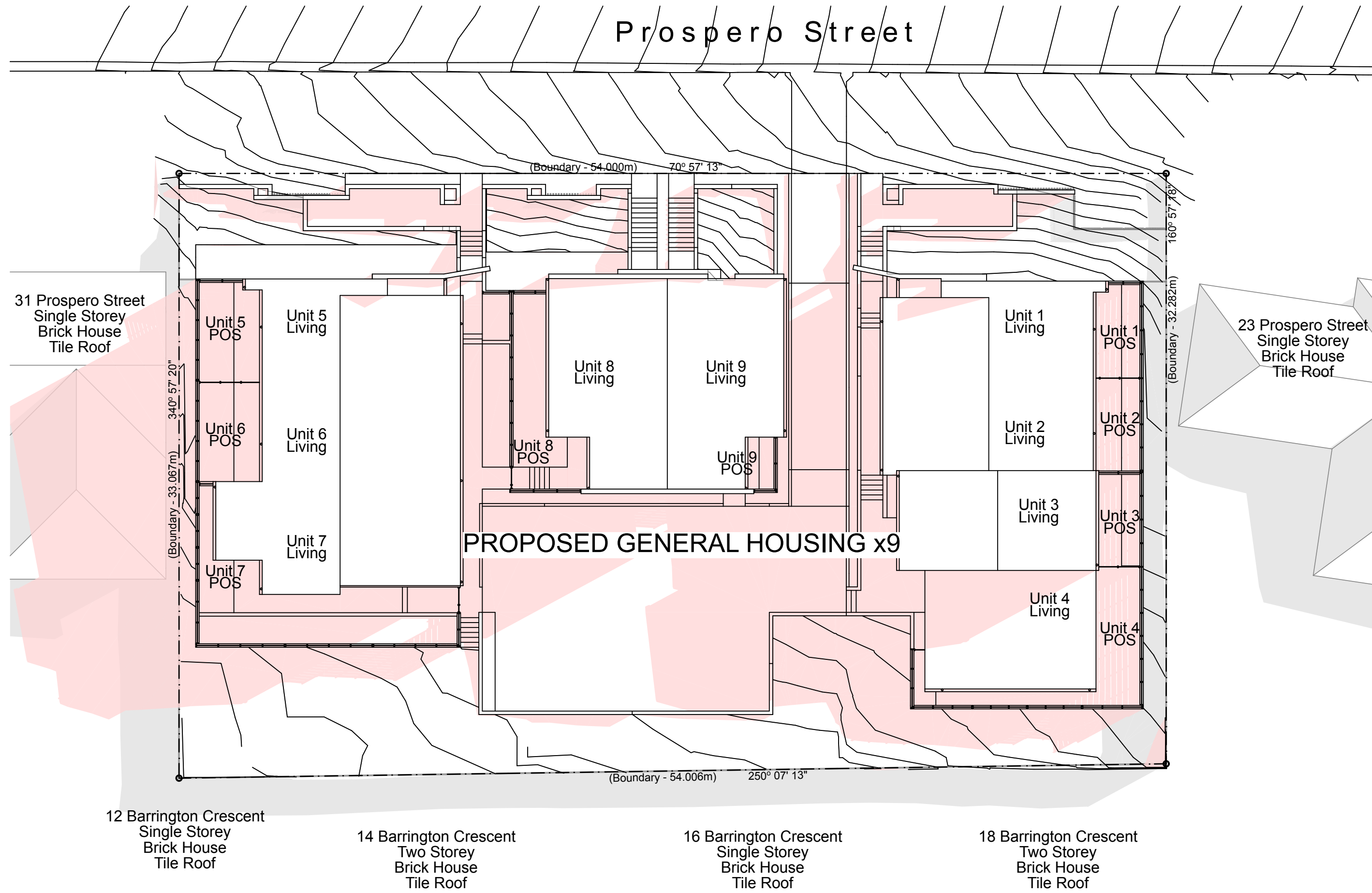
Legend (elevation & sections)

note: drawing may not contain all items listed below

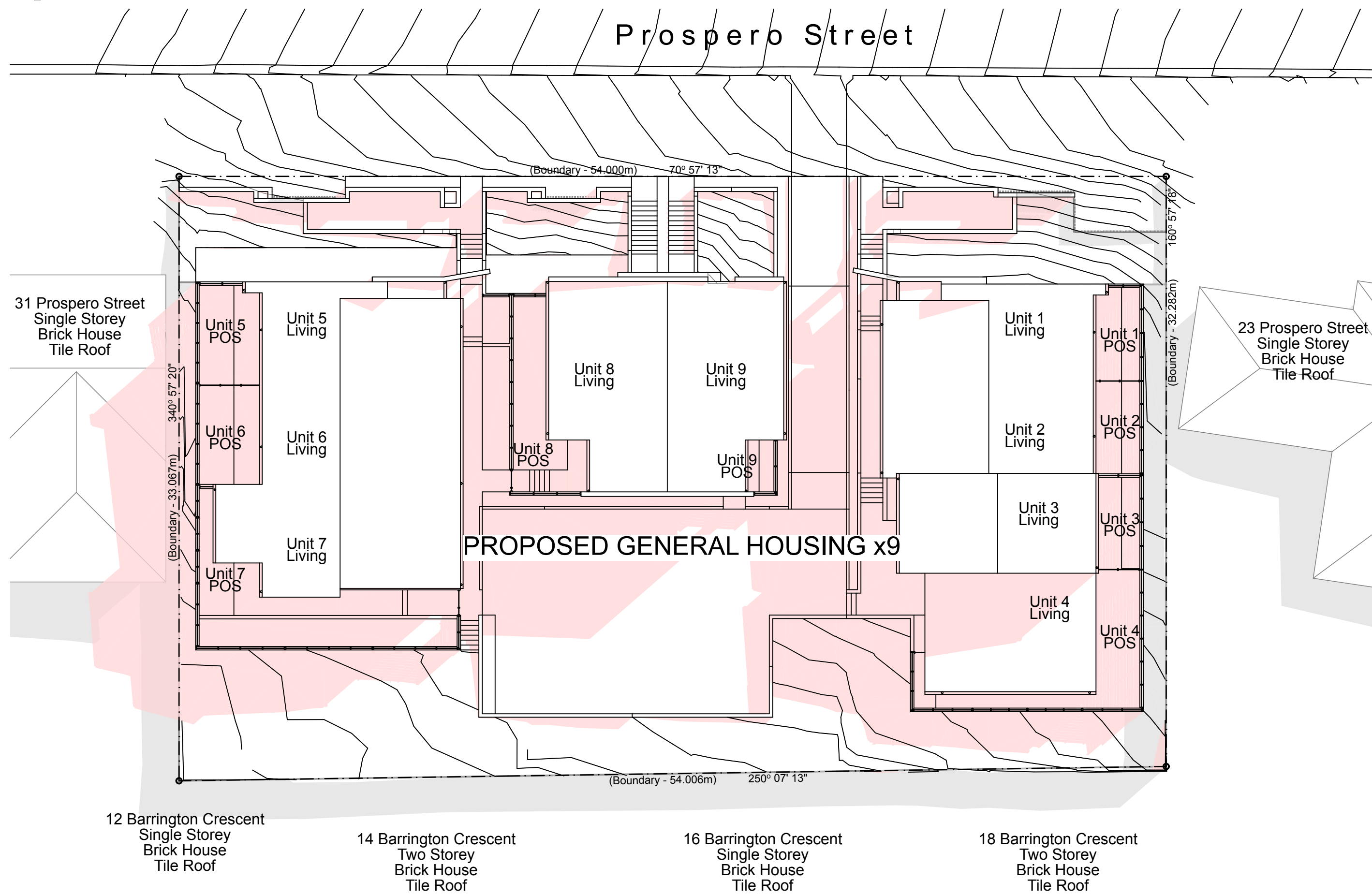
ac	air conditioner condenser
ag	ag pipe
alv	adjustable louvres
alw	aluminium framed window
bal(1)	balustrade (type)
bc	barge capping
bg	box gutter
boe	brick on edge
bws	brickwork sill
cfc	compressed fibre cement
cj	control joint
conc.	concrete
cs	coved skirting
csc	cut soldier course
dp	downpipe
drh	door head
dms	decorative metal screen
eg	eaves gutter
egl	existing ground line
ex.	existing
f	fixed sash window
fb(1)	face brickwork (type)
fd	finished ceiling level
fl	finished floor level
flv	fixed louvres
fp	feature panel
ft(1)	fence (type)
gl	ground line
gt	gate
hr(1)	handrail (type)
ip	insulated panel
mcl(1)	metal cladding (type)
mdr(1)	metal deck roof (type)
mps	metal privacy screen
nc	non structural column
og	obscure glazing
ofc	off form concrete
olv	operable louvres
p(1)	paint (type)
pap(1)	perforated acoustic panel (type)
pbd	plasterboard
ps	privacy screen
pv	photovoltaic cells
rc	rendered concrete
rms	raked metal soffit
rp(1)	render & paint finish (type)
rs	roller shutter
rw(1)	retaining wall (type)
rwh	rainwater head
s	sliding sash window
sc	steel column
sk	skylight/skytube
sl	sliding door
ss(1)	sun shade (type)
ts	timber skirting
wcs	window casing

Fence Type

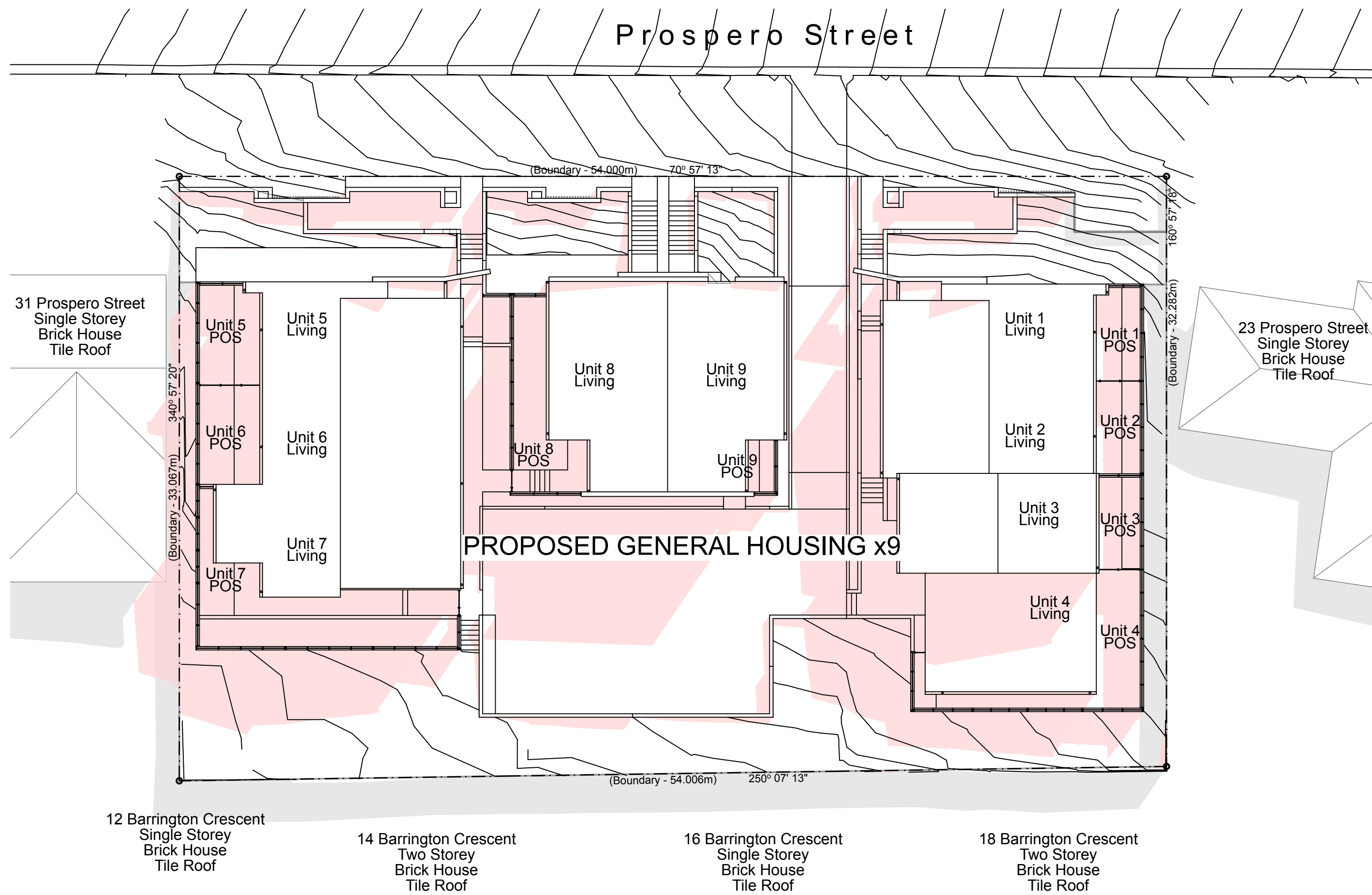
ft(1)	1.8m high powdercoated metal slatted fence (horizontal)
ft(2)	1.8m high colorbond fence
ft(3)	2.1m high powdercoated metal slatted fence (horizontal)
ft(4)	0.9m high powdercoated metal slatted fence (vertical)



01 Shadow Diagram @ 9am, 21 June
1:200



02 Shadow Diagram @ 10am, 21 June
1:200

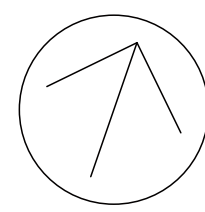


03 Shadow Diagram @ 11am, 21 June
1:200

Legend
shadow diagrams
note: drawing may not contain all items listed below

note:
shadows cast: proposed buildings

note:
shadows cast: existing neighbour buildings



05	08/08/23	Updated Part 5 Issue
04	16/06/23	Part 5 Issue
03	10/05/23	Part 5 Issue
02	26/04/23	Part 5 Issue
01	14/04/23	Part 5 Issue
Rev	Date	Issue

do not scale drawings, check all dimensions on site,
figured dimensions take precedence.

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Architect:

Project:
General Housing Development
at
25-29 Prospero Street, Maryland

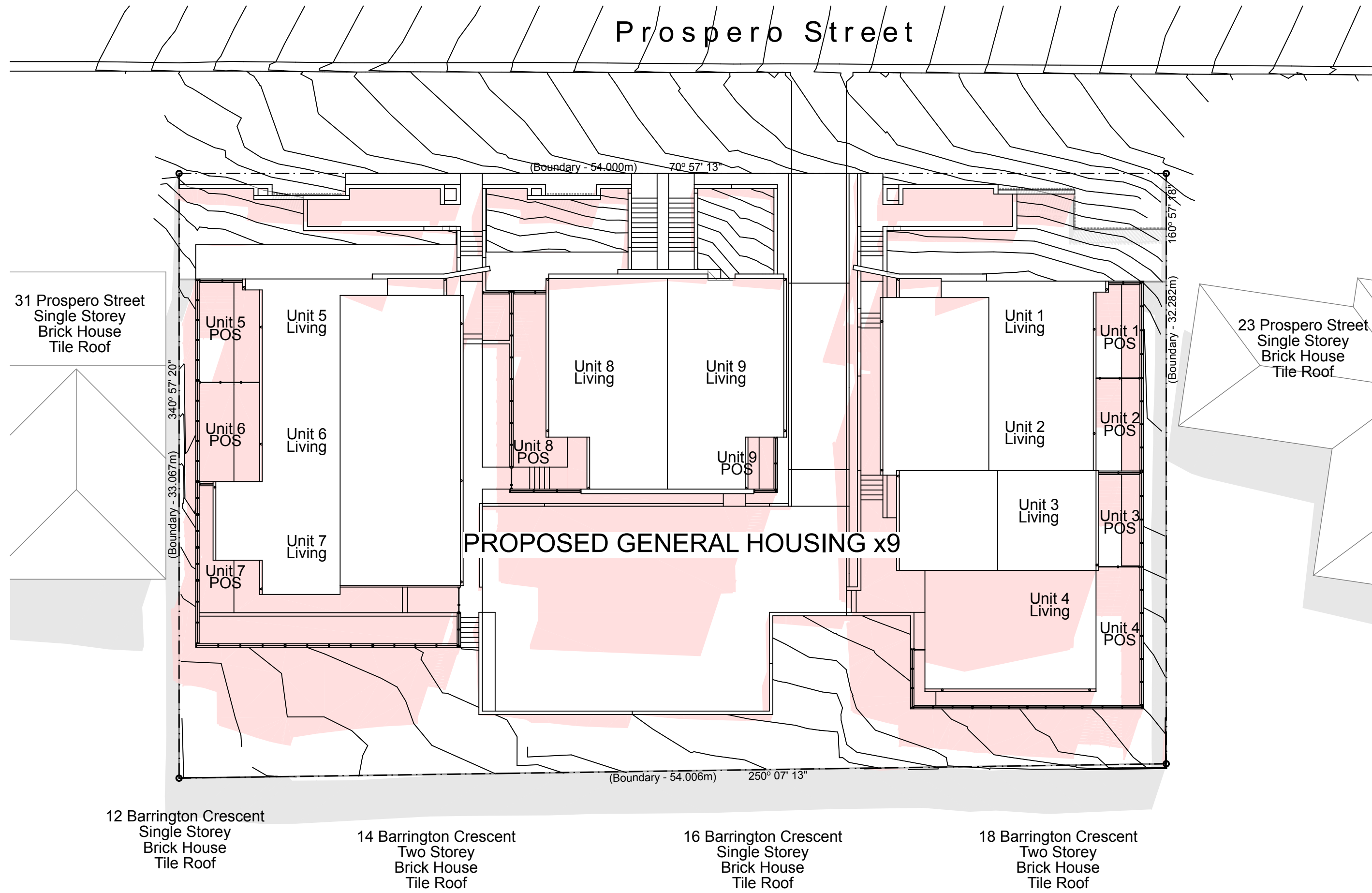
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Shadow Diagrams - Sheet 1

File:
2869.23_25-29 Prospero St,
Maryland_Part 5.pln

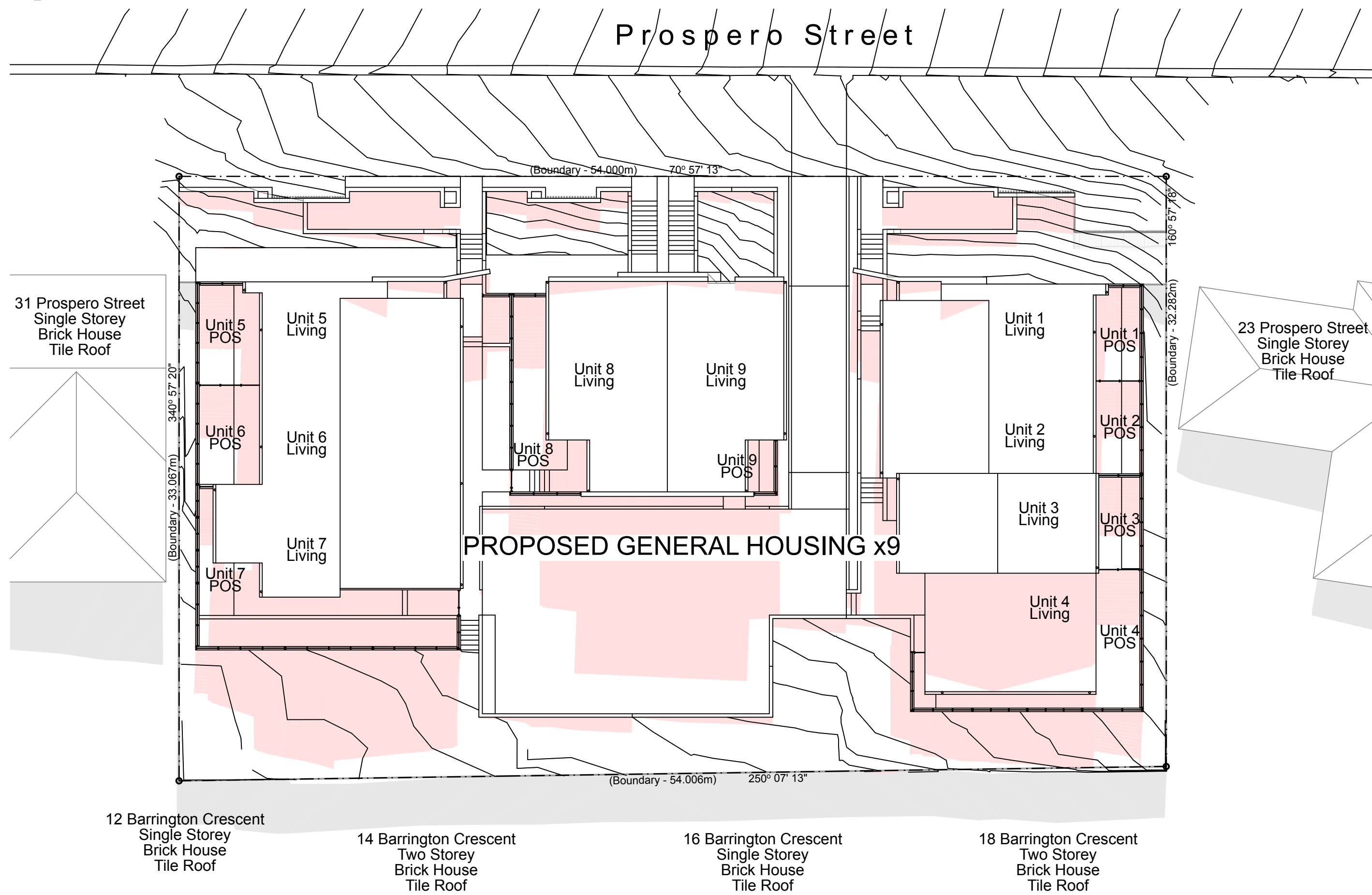
Plotted: 8/8/2023
2:10 pm

Status: Part 5 Activity Submission

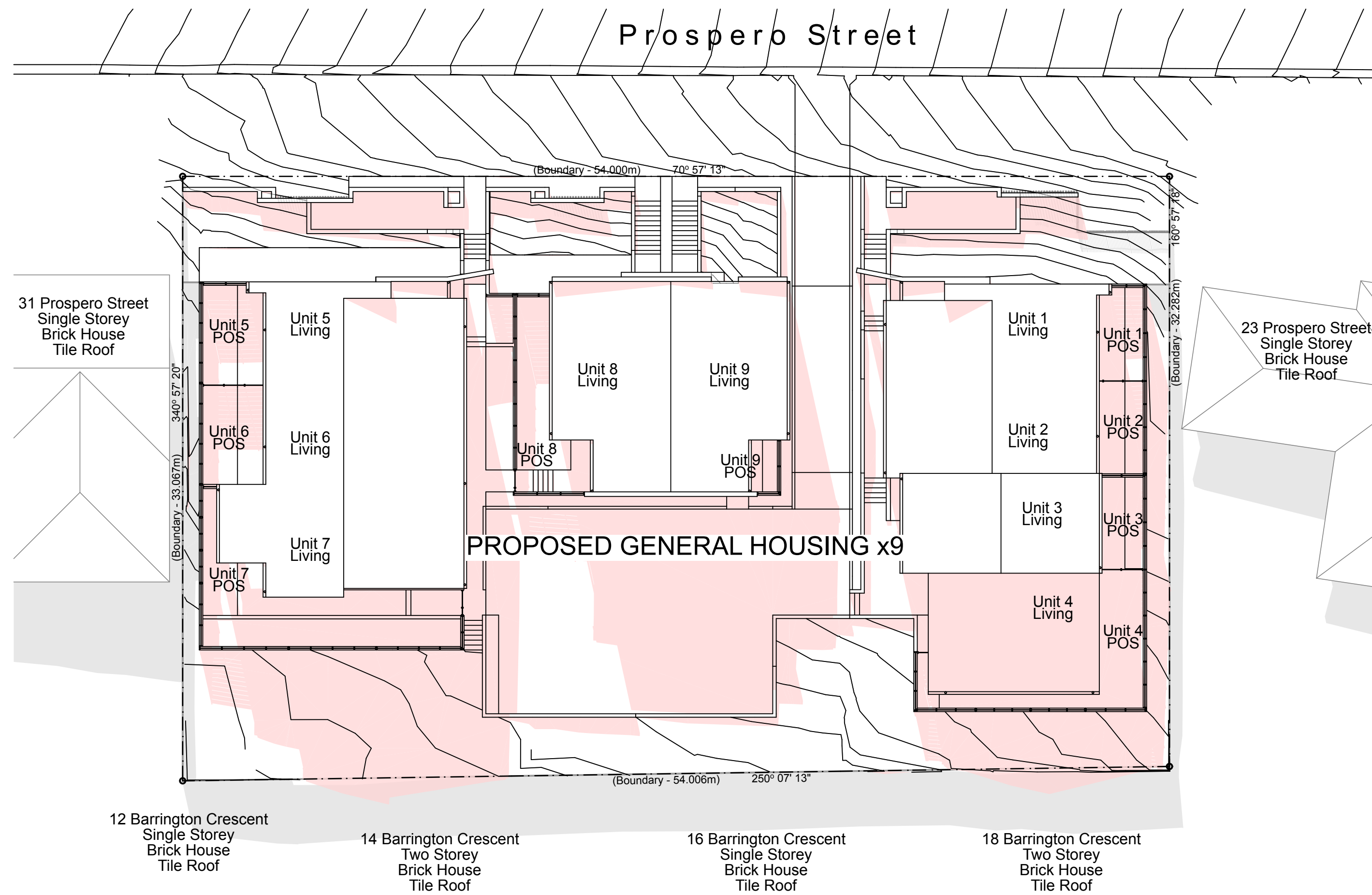
Date:	8/8/2023	Scale:	1:200 @ A1	S1d job no:	2869.23	Project no:	BGWY9
Stage:	Part 5	Drawn:	MP/DD/AT	Checked:	ML	Approved:	ML
Drawing:	DA15	Sheet:	16	Rev:	05		



01 Shadow Diagram @ 12pm, 21 June
1:200



02 Shadow Diagram @ 1pm, 21 June
1:200

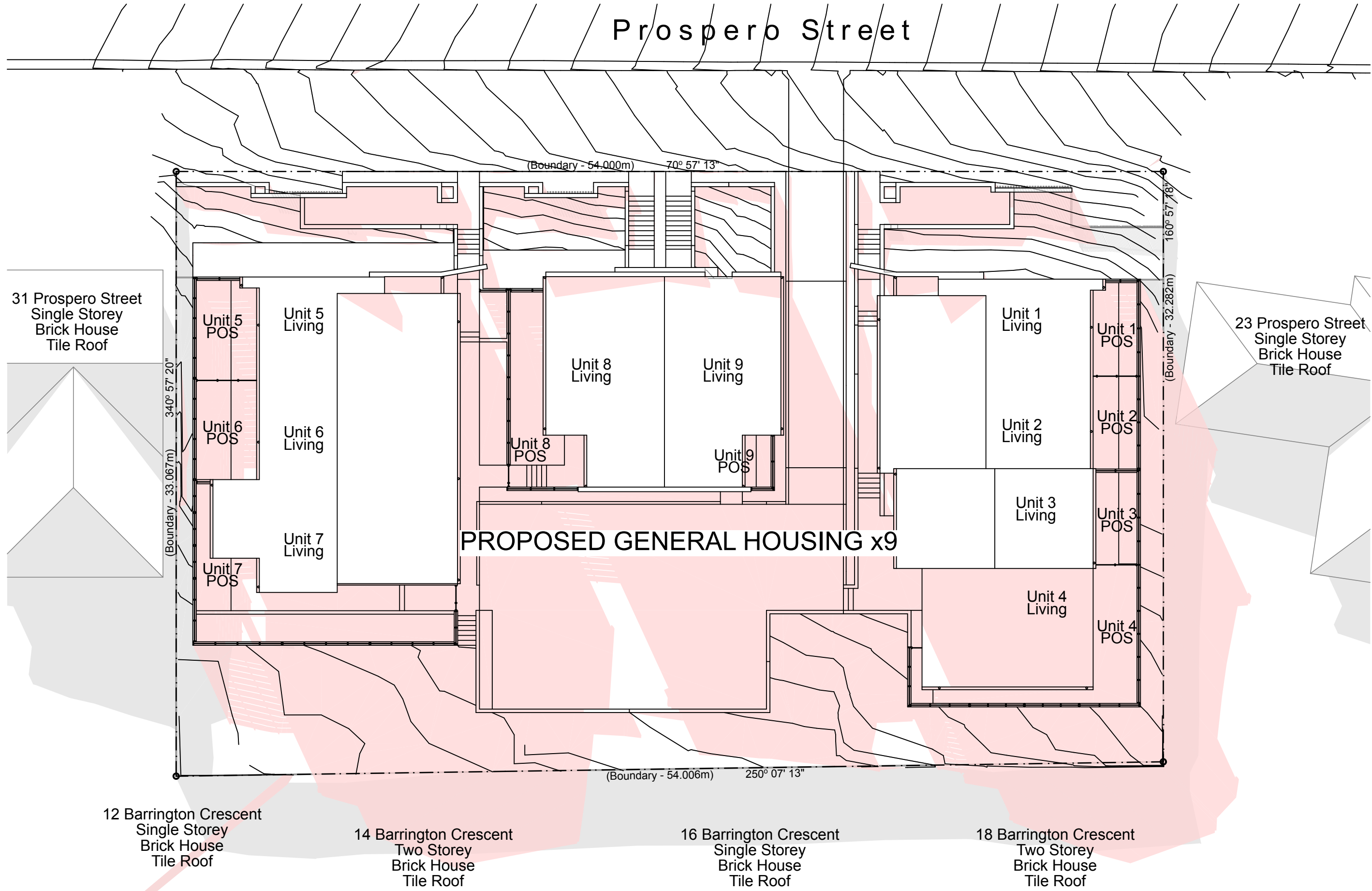


03 Shadow Diagram @ 2pm, 21 June
1:200

Legend
shadow diagrams
note: drawing may not contain all items listed below

note:
shadows cast: proposed buildings

note:
shadows cast: existing neighbour buildings



01 Shadow Diagram @ 3pm, 21 June
1:200

Living Areas									
Solar Access	9am	10am	11am	12pm	1pm	2pm	3pm	Total	Complies
Unit 1	Y	Y	Y	Y	Y	Y	Y	6 hrs	Y
Unit 2	Y	Y	Y	N	N	N	N	3 hrs	Y
Unit 3	Y	Y	Y	N	N	N	N	2 hrs	Y
Unit 4	Y	Y	Y	Y	N	N	N	3 hrs	Y
Unit 5	Y	Y	Y	Y	Y	Y	Y	6 hrs	Y
Unit 6	N	N	N	N	N	N	Y	0 hrs	N
Unit 7	N	N	N	N	N	N	Y	0 hrs	N
Unit 8	N	Y	Y	Y	Y	Y	Y	5 hrs	Y
Unit 9	N	Y	Y	Y	Y	Y	Y	5 hrs	Y
Living areas of 70% of the dwellings must receive a minimum of 2 hours of sunlight between 9:00am and 3:00pm on 21 June.								Complies - 7/9 = 78%	

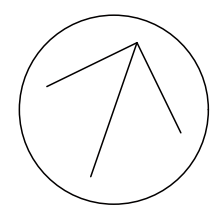
Private Open Space									
Solar Access	9am	10am	11am	12pm	1pm	2pm	3pm	Total	Complies
Unit 1	Y	Y	Y	Y	Y	Y	Y	6 hrs	Y
Unit 2	Y	Y	Y	Y	Y	Y	N	5 hrs	Y
Unit 3	Y	Y	Y	Y	Y	N	N	4 hrs	Y
Unit 4	Y	Y	Y	Y	Y	N	N	4 hrs	Y
Unit 5	N	Y	Y	Y	Y	Y	Y	5 hrs	Y
Unit 6	N	N	N	N	Y	Y	Y	2 hrs	Y
Unit 7	N	N	N	N	Y	Y	Y	2 hrs	Y
Unit 8	N	N	Y	Y	Y	Y	Y	4 hrs	Y
Unit 9	N	Y	Y	Y	N	N	N	2 hrs	Y
Private open space of 70% of the dwellings must receive a minimum of 2 hours of sunlight between 9:00am and 3:00pm on 21 June.								Complies - 9/9 = 100%	

Legend

shadow diagrams
note: drawing may not contain all items listed below

note:
shadows cast: proposed buildings

note:
shadows cast: existing neighbour buildings



Rev	Date	Issue
02	08/08/23	Updated Part 5 Issue
01	16/06/23	Part 5 Issue
do not scale drawings - check all dimensions on site. figured dimensions take precedence.		

Project Architect:
Stanton Dahl Architects
Ph: (02) 8576 5200

Landscape Consultant:
Botanique Design
Mob: 0404 887 620

Stormwater Consultant:
Greenview Consulting
Ph: (02) 8544 1083

Architect:

Project:
General Housing Development

at
25-29 Prospero Street, Maryland

Title:
Shadow Diagrams - Sheet 3

File:
2869.23_25-29 Prospero St,
Maryland_Part 5.pln

Plotted: 8/8/2023
2:11 pm

Status: Part 5 Activity Submission

Date: 8/8/2023
Scale: 1:200 @ A1
Stage: Part 5
Drawing: DA17

S/d job no: 2869.23
Drawn: MP/DD/AT
Sheet: ML

Project no: BGWY9
Approved: ML
Rev: 02
DA17 18 of 27 02



01 Site View From Sun - 9am, June 21
not to scale



03 Site View From Sun - 11am, June 21
not to scale



02 Site View From Sun - 10am, June 21
not to scale



04 Site View From Sun - 12pm, June 21
not to scale



01 Site View From Sun - 1pm, June 21
not to scale



03 Site View From Sun - 3pm, June 21
not to scale



02 Site View From Sun - 2pm, June 21
not to scale



01 POS View Units 1-4 - 9am, June 21
not to scale



03 POS View Units 1-4 - 11am, June 21
not to scale



02 POS View Units 1-4 - 10am, June 21
not to scale



04 POS View Units 1-4 - 12pm, June 21
not to scale



01 POS View Units 1-4 - 1pm, June 21
not to scale



03 POS View Units 1-4 - 3pm, June 21
not to scale



02 POS View Units 1-4 - 2pm, June 21
not to scale

Rev	Date	Issue
02	08/08/23	Updated Part 5 Issue
01	16/06/23	Part 5 Issue

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figured dimensions take precedence.

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Stormwater Consultant:
Greenview Consulting
Ph: (02) 8544 1683

Architect:

Project:
General Housing Development
at
25-29 Prospero Street, Maryland

Title:
POS Views (Units 1-4) - Sheet 2

File:
2869.23_25-29 Prospero St,
Maryland_Part 5.pln

Plotted: 8/8/2023
2:11 pm

Status: **Part 5 Activity Submission**

Date: 8/8/2023	Scale: @ A1	S18 job no: 2869.23	Project no: BGWY9
Stage: Part 5	Drawn: MP/DD/AT	Checked: ML	Approved: ML
Drawing: DA21	Sheet: 22	Rev: of 27	Rev: 02



01 POS View Units 5-7 - 9am, June 21
not to scale



03 POS View Units 5-7 - 11am, June 21
not to scale



02 POS View Units 5-7 - 10am, June 21
not to scale



04 POS View Units 5-7 - 12pm, June 21
not to scale



01 POS View Units 5-7 - 1pm, June 21
not to scale



03 POS View Units 5-7 - 3pm, June 21
not to scale



02 POS View Units 5-7 - 2pm, June 21
not to scale

Rev	Date	Issue
02	08/08/23	Updated Part 5 Issue
01	16/06/23	Part 5 Issue

do not scale drawings, check all dimensions on site, figured dimensions take precedence.

Project Architect:
Stanton Dahl Architects
Ph: (02) 8544 1683

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Stormwater Consultant:
Greenview Consulting
Ph: (02) 8544 1683

Architect:

Project:
General Housing Development
at
25-29 Prospero Street, Maryland

Title:
POS Views (Units 5-7) - Sheet 2

File:
2869.23_25-29 Prospero St, Maryland_Part 5.pln

Plotted:
8/8/2023
2:11 pm

Status: **Part 5 Activity Submission**

Date: 8/8/2023	Scale: @ A1	S18 job no: 2869.23	Project no: BGWY9
Stage: Part 5	Drawn: MP/DD/AT	Checked: ML	Approved: ML
Drawing: DA23	Sheet: 24	Rev: of 27	Rev: 02



01 POS View Units 8-9 - 9am, June 21
not to scale



03 POS View Units 8-9 - 11am, June 21
not to scale



02 POS View Units 8-9 - 10am, June 21
not to scale



04 POS View Units 8-9 - 12pm, June 21
not to scale



Planning &
Environment

Rev	Date	Issue
02	08/08/23	Updated Part 5 Issue
01	16/06/23	Part 5 Issue

do not scale drawings, check all dimensions on site,
figured dimensions take precedence.

Project Architect:
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Mob: 0404 887 620

Stormwater Consultant:
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Architect:



Project:
General Housing Development

at
25-29 Prospero Street, Maryland

Title:
POS Views (Units 8-9) - Sheet 1

File:
2869.23_25-29 Prospero St,
Maryland_Part 5.pln

Plotted: 8/8/2023
2:11 pm

Status: Part 5 Activity Submission

Date: 8/8/2023
Stage: Part 5
Drawing: DA24
Scale: @ AI
Drawn: MP/DD/AT
Sheet: 25
S'18 job no: 2869.23
Checked: ML
ML
Rev: 02
Project no: BGWY9
Approved: ML



01 POS View Units 8-9 - 1pm, June 21
not to scale



03 POS View Units 8-9 - 3pm, June 21
not to scale



02 POS View Units 8-9 - 2pm, June 21
not to scale

Rev	Date	Issue
02	08/08/23	Updated Part 5 Issue
01	16/06/23	Part 5 Issue

do not scale drawings, check all dimensions on site, figured dimensions take precedence.

Project Architect:
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Stormwater Consultant:
Greenview Consulting
Ph: (02) 8544 1683

Architect:

Project:
General Housing Development
at
25-29 Prospero Street, Maryland

Title:
POS Views (Units 8-9) - Sheet 2

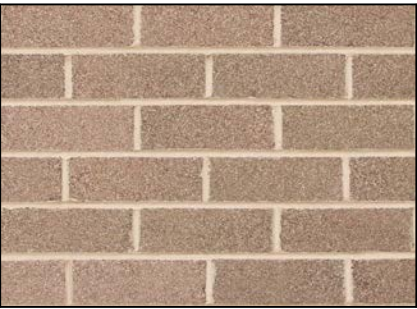
File:
2869.23_25-29 Prospero St,
Maryland_Part 5.pln

Plotted: 8/8/2023
2:11 pm

Status: **Part 5 Activity Submission**

Date: 8/8/2023	Scale: @ A1	S18 job no: 2869.23	Project no: BGWY9
Stage: Part 5	Drawn: MP/DD/AT	Checked: ML	Approved: ML
Drawing: DA25	Sheet: 26	Rev: of 27	Rev: 02

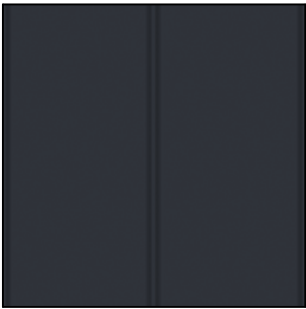
General Housing Development
25-29 Prospero Street, Maryland, NSW
Lots 395-397, DP 702896



Face Brick - fb(1), rw(1)
Austral - Bowral 76
Colour: Simmental Silver



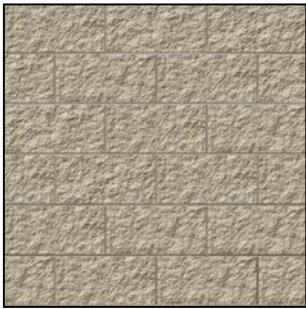
Metal Cladding - mc(1)
Fielders - Prominence
Colour: Colorbond - Aries



Metal Cladding - mc(2)
Fielders - Prominence
Colour: Colorbond - Ironstone



Metal Roof Sheetting - mdr(1)
Colorbond - Trimdek
Colour: Ironstone



Retaining Wall - rw(2)
Austral - GB Split Face
Colour: Limestone

Render & Paint rp(1)

DULUX - SW1E2 White on White

Gutters, Fascia, Downpipes, Letterboxes

Dulux - Colorbond "Ironstone"

Render & Paint rp(2), Cappings, Sunshades, Door & Window Frames, Balustrades

Dulux - Colorbond "Monument"

Fences ft(1) ft(3) ft(4), Entry Doors

DULUX - Colorbond "Terrain"

Fences ft(2)

DULUX - Colorbond "Surfmist"



Rev	Issue	Date
01	Part 5 Issue	14/04/23
02	Part 5 Issue	26/04/23
03	Part 5 Issue	10/05/23
04	Part 5 Issue	16/06/23
05	Updated Part 5 Issue	08/08/23

PART 5 ISSUE

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Land & Housing Corporation,
General Housing Development
25-29 Prospero Street,
Maryland, NSW

External Colour Selection

Project No;
BGWY9

Drawing No; Revision#;
DA26 05

Scale; as noted @ A3

Drawn; MP/DD/AT

Plot date; 8/8/2023

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Nominated Architects : D.P Stanton 3642, S.M Evans 7686
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